

DRAWING INDEX

GENERAL

SHEET #	SHEET NAME	CURRENT REVISION	REV#	ISSUE DATE	REVISION DATE
A-0.00	DRAWING INDEX & PROJECT DATA			05/09/25	
A-0.01	GENERAL NOTES			05/09/25	
A-0.02	GENERAL NOTES - ADA REQUIREMENTS			05/09/25	
A-0.03	GENERAL NOTES - ADA REQUIREMENTS			05/09/25	
A-0.05	PARTITION TYPES			05/09/25	

ARCHITECTURAL

SHEET #	SHEET NAME	CURRENT REVISION	REV#	ISSUE DATE	REVISION DATE
A-1.01	SECOND FLOOR - CONTROL PLAN			05/09/25	
A-1.01-1	SECOND FLOOR - DIMENSION PLAN			05/09/25	
A-1.01-2	SECOND FLOOR - REFLECTED CEILING PLAN			05/09/25	
A-1.03	ROOF PLAN			05/09/25	
A-6.00	DOOR SCHEDULE			05/09/25	
A-8.00	FINISH PLAN			05/09/25	
D-1.00	GENERAL DEMOLITION AND ALTERATION NOTES			05/09/25	
D-1.01	DEMOLITION - SECOND FLOOR PLAN			05/09/25	

PROJECT DATA

SITE DATA

PROJECT ADDRESS: 3470 CLUB CENTER BOULEVARD; NAPLES, FL 34114
 MUNICIPALITY: COLLIER COUNTY
 ZONING: PUD
 FLOOD ZONE: AE-7 — BFE=8

PROJECT DESCRIPTION:

THE PROJECT UNDER THIS SCOPE INVOLVES AN INTERIOR RENOVATION OF AN EXISTING OFFICE AND STORAGE AREA AND IS A LEVEL II ALTERATION AS PER FBC EXISTING BUILDING CODE, 8TH EDITION, CHAPTER 6 CLASSIFICATION OF WORK SECTION 603.

604.1 SCOPE:
 LEVEL II ALTERATIONS INCLUDE THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

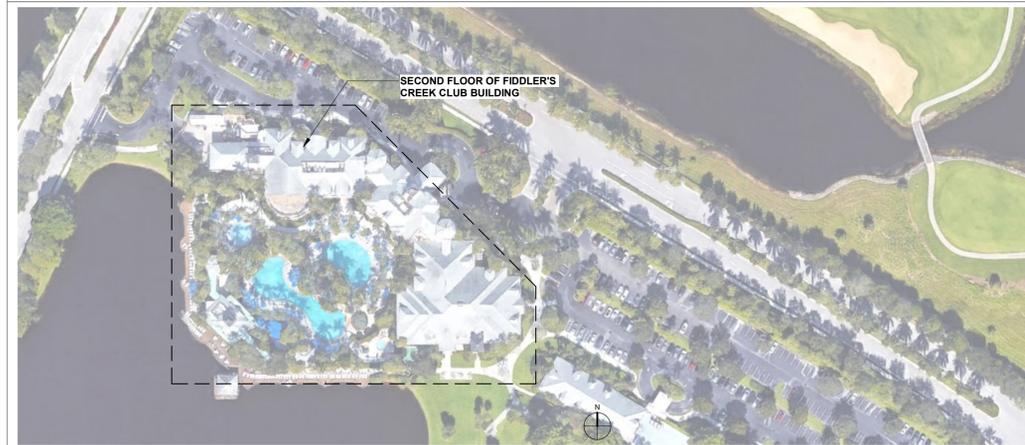
DESIGN CRITERIA (APPLICABLE CODES):

EXISTING BUILDING: FBC – FLORIDA BUILDING CODE, 8TH EDITION (2023)
 BUILDING CODE: FBC – FLORIDA BUILDING CODE, 8TH EDITION (2023)
 FIRE PREVENTION CODE: - FFPC – FLORIDA FIRE PREVENTION CODE, 8TH EDITION (2023)
 ELECTRICAL CODE: NFPA 70 – NATIONAL ELECTRICAL CODE (NEC), 2023 EDITION
 MECHANICAL CODE: FBC-M – FLORIDA BUILDING CODE – MECHANICAL, 8TH EDITION (2023)
 PLUMBING CODE: FBC-P – FLORIDA BUILDING CODE – PLUMBING, 8TH EDITION (2023)
 ACCESSIBILITY CODE: FBC-A – FLORIDA BUILDING CODE – ACCESSIBILITY, 8TH EDITION (2023)

DESIGN CRITERIA (ADDITIONAL INFORMATION):

OCCUPANCY TYPE (FBC CH.3): GROUP B: BUSINESS (FBC 304.1, LSC CH.38) SUPPORT STAFF OFFICES
CONSTRUCTION TYPE (FBC CH 6): TYPE V-B
BUILDING HEIGHT: 22'-7" - (2) STORY MASONRY STRUCTURE WITH EXISTING TRUSS ROOF
BUILDING AREA: +/- 6,140 SQ FT.
BUILDING OCCUPANT LOAD: 40 PERSONS

LOCATION MAP



ABBREVIATIONS

AB	ANCHOR BOLT	MATL	MATERIAL
AC	AIR CONDITIONING	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
ALT	ALTERNATE	MEMB	MEMBRANE
ALUM	ALUMINUM	MTL	MEAN TIE LEVEL
APC	ACOUSTICAL PANEL CEILING	MFC	METAL FURRING CHANNEL
APPROX	APPROXIMATELY	MFR	MANUFACTURER
ARCH	ARCHITECTURE	MIN	MINIMUM
BD	BOARD	MIR	MIRROR
BILDG	BUILDING	MISC	MISCELLANEOUS
BLK	BLOCK	MO	MASONRY OPENING
BRG	BEARING	MR	MOISTURE RESISTANT
BTVN	BETWEEN	NAT	NATURAL
CAB	CABINET	NC	NOT IN CONTRACT
CJ	CONTROL JOINT	NOM	NOMINAL
CL	CENTERLINE	NTS	NOT TO SCALE
CLG/CEIL	CLG/CEIL CEILING	OA	OVERALL OUTSIDE AIR
CEM	CEMENT	OC	ON CENTER
CL	CLOSET	OH	OVERHEAD
CL	CENTER LINE	OPNG	OPENING
CLR	CLEAR	OPP	OPPOSITE
COL	COLUMN	OPH	OPPOSITE HAND
CONC	CONCRETE	OIO	OUT TO OUT
CONST	CONSTRUCTION	ORIG	ORIGINAL
CONT	CONTINUOUS	PART	PARTITION
CONTR	CONTRACTOR	PL	PLATE
CMU	CONCRETE MASONRY UNIT	PLAM	PLASTIC LAMINATE
CT	CERAMIC TILE	PLYWD	PLYWOOD
CTR	CENTER	PNL	PANEL
DEG	(°) DEGREE	PNT/PTD	PAINT/PAINTED
DEMO	DEMOLITION	POL	POLISHED
DEPT	DEPARTMENT	POUN	POUNDS
DTL	DETAIL	PREFAB	PREFABRICATED
DIA	DIAMETER	PROJ	PROJECT
DIM	DIMENSION	PSF	POUNDS PER SQUARE FOOT
DN	DOWN	PSI	POUNDS PER SQUARE INCH
DR	DOOR	PT	PRESSURE TREATED
DS	DOWNSPOUT	PT	POST TENSION
DWG(S)	DRAWING(S)	PVMT	PAVEMENT
DP	DRAINING FOUNTAIN	QTY	QUANTITY
EA	EACH	RD	ROOF DRAIN
ELEV	ELEVATION	REF	REFRIGERATOR
ELEC	ELECTRIC/ELECTRICAL	REF	REFERENCE
EQ	EQUAL	REQD	REQUIRED
EQUIV	EQUIVALENT	REINF	REINFORCED/REINFORCING
EQUIP	EQUIPMENT	RET	RETURN
ETR	EXISTING TO REMAIN	REV	REVERSE/REVISION
EW	EACH WAY	RM	ROOM
EXH	EXHAUST	RO	ROUGH OPENING
EXIST	EXISTING	RCP	REFLECTED CEILING PLAN
EXT	EXTERIOR	SCHED	SCHEDULE
FD	FLOOR DRAIN	SC	SOLID CORE
FIN	FINISH	SD	SOAP DISPENSER
FIX	FIXTURE	SEP	SEPARATE
FL	FLOOR	SECT	SECTION
FIN	FINISH	SF	SQUARE FEET
FL	FLOOR	SHT	SHEET
FLUOR	FLUORESCENT	SIM	SIMILAR
FTG	FOOTING	SPECS	SPECIFICATION
FURR	FURRING	SPKR	SPEAKER
GA	GAGE/GAUGE	SQ	SQUARE
GALV	GALVANIZED	STD	STANDARD
GL	GLASS/GLAZING	STL	STEEL
GR	GRADE	STOR	STORAGE
GWP	GYP/SUM WALL BOARD	SUB	SUBSTITUTE/SUBSTRATE
HB	HOSE BIBB	SURF	SURFACE
HCP	HANDICAP	SUSP	SUSPEND / SUSPENDED
HDWR	HARDWARE	SYS	SYSTEM
HDWD	HARDWOOD	T&G	TONGUE & GROOVE
HGT	HEIGHT	TEL	TELEPHONE
HM	HOLLOW METAL	THK	THICK/THICKNESS
HR	HOUR	TPH	TOILET PAPER HOLDER
HVAC	HEATING/VENTILATING	TOP OF SLAB	TOP OF SLAB
HW	HOT WATER	TRANS	TRANSFORMER
IN	INCH	TYP	TYPICAL
INCAND	INCANDESCENT	UGND	UNDERGROUND
INCL	INCLUDE	UL	UNDERWRITERS LABORATORIES
INFO	INFORMATION	UNO	UNLESS NOTED OTHERWISE
INSUL	INSULATE / INSULATION	VERT	VERTICAL
INT	INTERIOR	VF	VERIFY IN FIELD
KIT	KITCHEN	WTH	WITH
LAM	LAMINATED	WC	WATER CLOSET
LAV	LAVATORY	WH	WATER HEATER
LBLBS	POUND / POUNDS	WM	WIRE MESH
LIN	LINEAR	W/O	WITHOUT
LL	LIVE LOAD	WP	WATERPROOF
LT	LIGHT	WS	WEATHER STRIPPING
LVR	LOUVER	WWF	WELDED WIRE FABRIC

SYMBOLS LEGEND

	NORTH ARROW		PARTITION TYPE TAG
	ELEVATION		WINDOW TAG
	BUILDING / WALL SECTIONS		DOOR TAG
	DETAIL		VERTICAL ELEVATION TAG
	ELEVATIONS		REVISION TAG
	ROOM TAG		MATERIAL KEYNOTE
	FINISH TAG		CENTERLINE
			COLUMN BUBBLE
			MATCH LINE - SEE SHEET sheet #
	DRAWING TITLE DRAWING SCALE		DRAWING NUMBER SHEET NUMBER

CONSTRUCTION DOCUMENTS

DRAWING INDEX & PROJECT DATA

A-0.00

PRINT DATE: 5/22/2025 11:14:19 AM

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with the section and Chapter 603, Florida Statutes.

REV#	DESCRIPTION	DATE

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garciastromberg

Project: Fiddler's Creek, BA, NCARB
 Architect: Garcia Stromberg
 2005 Vista Parkway, Suite 10 | West Palm Beach, FL 33411 | TEL: 561.472.8855 | Corporate License # A202002302

CLIENT
 GULF BAY DEVELOPMENT

PROJECT
 FIDDLER'S CREEK -
 EMPLOYEE SERVICE

GENERAL NOTES

1. THE CONTRACTOR SHALL PERFORM AND CONSTRUCT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE CURRENT BUILDING CODES AS STATED IN THE LIFE SAFETY DRAWINGS AND CODE ANALYSIS, AS WELL AS ALL FEDERAL, STATE, COUNTY, OR CITY ORDINANCES, RULES AND REGULATIONS AND THE FLORIDA STATE STATUTES AS LISTED IN THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL CARRY PUBLIC LIABILITY, PROPERTY AND WORKMEN'S COMPENSATION INSURANCE IN SUCH AMOUNTS DEEMED ACCEPTABLE TO THE OWNER, FINANCIAL AGENCIES AND STATE LAW. VALID CERTIFICATES OF ALL POLICIES SHALL BE PROVIDED TO THE OWNER WITH OWNER/CONTRACTOR LISTED AS ADDITIONAL INSURED.

3. UNLESS OTHERWISE AGREED, THE AIA DOCUMENT A201 - "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE THE GENERAL CONDITIONS OF THE CONTRACT SET FORTH THAT SETS THE RESPONSIBILITIES OF THE OWNER, CONTRACTOR AND ARCHITECT DURING CONSTRUCTION OF THE PROJECT, ALONG WITH ANY REVISIONS AND SUPPLEMENTAL CONDITIONS AGREED TO BY BOTH THE OWNER AND THE ARCHITECT.

4. THE CONTRACT DOCUMENTS ARE ENUMERATED IN THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR AND CONSIST OF THE AGREEMENT, CONDITIONS OF THE CONTRACT, SUPPLEMENTARY AND OTHER CONDITIONS, DRAWINGS, SPECIFICATIONS, PROJECT MANUALS, TEST REPORTS / STUDIES, ADDENDA ISSUED PRIOR TO EXECUTION OF THE CONTRACT, OTHER DOCUMENTS LISTED IN THE AGREEMENT, DRAWINGS AND SPECIFICATIONS AND ANY MODIFICATIONS ISSUED AFTER THE EXECUTION OF THE CONTRACT FOR CONSTRUCTION.

5. MODIFICATION TO THE CONTRACT DOCUMENTS WILL BE MADE WITH (1.) WRITTEN AMENDMENTS TO THE CONTRACT; SIGNED BY THE APPROPRIATE PARTIES, (2.) A CHANGE ORDER, (3.) A CONSTRUCTION CHANGE DIRECTIVE (CCD) OR (4.) A WRITTEN ORDER FOR A MINOR CHANGE IN THE WORK ISSUED BY THE ARCHITECT.

6. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE CONTRACT DOCUMENTS, INCLUDING, BUT NOT LIMITED TO THE DRAWINGS, PROJECT MANUAL, SPECIFICATIONS, CONDITIONS AND REPORTS; AND TO ASSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL WORK REQUIRED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES DURING THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.

7. THE DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTION OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN INTENT, LOCATION AND DIMENSIONS OF THE WORK. THE DRAWINGS ARE ONLY DIAGRAMMATIC AND IT IS NOT THE INTENT OF THE DRAWINGS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION OF ALL SYSTEMS AND COMPONENTS AS INDICATED IN THE CONTRACT DOCUMENTS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL RELATED DOCUMENTS AND DRAWINGS. SHOULD THE SERVICES OF THE ARCHITECT AND/OR HIS CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY THE CONTRACTOR AND SUB-CONTRACTORS, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR HIS CONSULTANTS.

9. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO THE SUBMITTAL OF BID AND/OR CONTRACT NEGOTIATIONS AND SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS (AND THEIR INTENT) SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT.

10. IF THE WORK BEING PERFORMED IN AN EXISTING BUILDING AND/OR AS AN ADDITION OR ALTERATIONS TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE ALARM / SUPPRESSION, AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THESE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY ALL TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED, WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

11. THE OBLIGATION OF THE CONTRACTOR IS TO ASSURE COORDINATION AND VERIFICATION OF EXISTING CONDITIONS, NOT FOR THE PURPOSE OF DISCOVERING INCONSISTENCIES OR ERRORS IN THE CONTRACT DOCUMENTS. HOWEVER, THE CONTRACTOR SHALL PROMPTLY REPORT ANY DISCREPANCIES WITH THE DRAWINGS INCLUDING DIMENSIONS, CONFLICTS OR OTHERWISE, TO THE ATTENTION OF THE ARCHITECT IN WRITING AND VERIFIED PRIOR TO THE START OF CONSTRUCTION.

12. ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING. THESE DRAWINGS SHOULD NOT BE SCALED TO OBTAIN DIMENSIONS. REFER TO DIMENSIONS INDICATED. ANY DIMENSION NOT PROVIDED OR MIS-LABELED SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION.

13. THE CONTRACTOR SHALL TAKE APPROPRIATE ACTION TO PROVIDE THE NECESSARY PROTECTION OF THE PUBLIC AND PREVENT ACCESS TO THE PROJECT SITE. CONTRACTOR SHALL PROVIDE THE PROTECTION MEANS OF ALL ADJOINING PROPERTIES, ADJOINING PUBLIC AND PRIVATE PROPERTIES SHALL BE PROTECTED FROM DAMAGES DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION SHALL BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS, WINDOWS, DOORS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONTRACTION OR DEMOLITION ACTIVITIES.

14. CONTRACTOR SHALL NOTIFY IN WRITING TO THE OWNERS OF ADJOINING PROPERTIES, ADVISING THEM OF THE PROTECTION BEING TAKEN, PRIOR TO ANY EXCAVATION TAKING PLACE. THE NOTICE SHALL BE DELIVERED NOT LESS THAN TEN (10) DAYS PRIOR TO THE SCHEDULE STARTING DATE OF THE EXCAVATION. THE CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE THE SAME IN A MANNER WHICH IMPACTS THE ADJOINING PROPERTY IN AN ORDER TO MINIMIZE ANY INCONVENIENCE TO THE EXISTING USERS.

15. THE CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL BE RESPONSIBLE TO EMPLOY THOSE CONTROL MEASURES NECESSARY TO ENSURE THAT NO PROJECT RELATED POLLUTANTS HAVE ENTERED THE STORM WATER SYSTEM OR MIGRATED OFF-SITE. THE CONTRACTOR SHALL PROVIDE A CERTIFIED LETTER TO THE OWNER ON A MONTHLY BASIS, THAT NO PROJECT RELATED POLLUTANTS HAVE ENTERED THE STORM WATER SYSTEM OR MIGRATED OFF-SITE FOR THE REQUIREMENTS OF THE AHJ.

16. ANY STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, THE CONTRACTOR SHALL COMPLY WITH FBC CHAPTER 33 (SAFEGUARDS DURING CONSTRUCTION) AND THE NFPA 241.

17. THE CONTRACTOR SHALL CALL **1-800-432-4770** OR **811** (BEFORE YOU DIG), TWO (2) FULL BUSINESS DAYS BEFORE THE START OF ANY DIGGING. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DISRUPTION TO ANY UTILITY SERVICE DAMAGED.

18. THE CONTRACTOR SHALL KEEP ALL EXITS THAT ARE REQUIRED FOR EGRESS, OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO EMPLOY CONTROL MEASURES NECESSARY TO ENSURE THAT THE CONSTRUCTION PROCESS WILL NOT HINDER OR INTERFERE WITH EMERGENCY RESPONSE ACCESS TO THE PROPERTY, DEVELOPMENT OR ADJACENT PROPERTIES (STREETS, ALLEYS, FIRE LANES, ETC.).

19. THE CONTRACTOR WILL PROVIDE, INSTALL, AND MAINTAIN TEMPORARY FIRE EXTINGUISHERS AT ALL TIMES DURING CONSTRUCTION. COORDINATE AND LOCATE AS REQUIRED BY THE LOCAL FIRE MARSHAL PER NFPA 10, NFPA 101, AND NFPA 241. THE CONTRACTOR SHALL PROVIDE TEMPORARY STANDPIPE(S) AS STRUCTURE RISES IN ACCORDANCE WITH THE CURRENT BUILDING CODES. THE TEMPORARY STANDPIPES MAY BECOME PERMANENT AS PART OF THE CONSTRUCTION IF CERTIFIED BY THE PROPER AUTHORITIES.

20. THE CONTRACTOR SHALL MAINTAIN AT THE SITE FOR THE OWNER, ONE COPY OF THE DRAWINGS (INCLUDING ALL PREVIOUS REVISIONS), SPECIFICATIONS, ADDENDA, CHANGE ORDERS AND OTHER MODIFICATIONS, ALONG WITH THE APPROVED CERTIFIED SET FROM THE AUTHORITY HAVING JURISDICTION, IN GOOD ORDER AND MARKED CURRENTLY TO INDICATE FIELD CHANGES AND SELECTIONS MADE DURING CONSTRUCTION, AND ONE COPY OF APPROVED SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR REQUIRED SUBMITTALS. THESE SHALL BE AVAILABLE TO THE ARCHITECT AND SHALL BE DELIVERED TO THE ARCHITECT FOR SUBMITTAL TO THE OWNER UPON COMPLETION OF THE WORK AS A RECORD OF THE WORK AS CONSTRUCTED.

21. THE CONTRACT DOCUMENTS INCLUDED UNDER THIS CONTRACT ARE AN INSTRUMENT OF THE ARCHITECT AND THEIR CONSULTANTS SERVICES AND SHOULD NOT BE REGARDED AS A PRODUCT. THE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND THEIR CONSULTANTS AND SHALL NOT BE USED FOR ANY OTHER PURPOSES OTHER THAN CONSTRUCTION OF THIS PROJECT.

22. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO COMMENCING WORK, ALONG WITH A SCHEDULE OF VALUES AND A SHOP DRAWING SUBMITTAL SCHEDULE. THE SHOP DRAWING SUBMITTAL SCHEDULE SHALL INDICATE THE CRITICAL DATES FOR ALL SHOP DRAWING AND SAMPLE SUBMISSIONS. THE SHOP DRAWING SUBMISSION SCHEDULE SHOULD INCLUDE THE DATE FOR SUBMITTAL AND THE DATE OF RETURN OF REVIEWED SHOP DRAWINGS ACCORDING TO THE CONTRACT, PRODUCT DATA AND SAMPLES. THE CONTRACTOR SHALL ALLOW SUFFICIENT TIME IN THE SCHEDULE FOR THE ARCHITECTS REVIEW, INCLUDING THEIR CONSULTANTS AND POSSIBLE RE-SUBMITTALS IF REQUIRED.

23. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT DATA AND SAMPLES TO THE ARCHITECT FOR REVIEW AND COMMENTS. ALL SUBMITTALS SHALL BE PRESENTED IN A CLEAN AND THOROUGH MANNER AND SHALL BE OF SUFFICIENT DETAILS AND SCALE TO INDICATE COMPLIANCE WITH THE CONTRACT DOCUMENTS, MANUFACTURE'S AND TRADE STANDARDS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING, AT THE TIME OF SUBMISSION OF ANY DEVIATIONS IN THE SUBMITTAL FROM THE REQUIREMENT OF THE CONTRACT DOCUMENTS, OR OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS. ACCEPTANCE OF A SUBMITTAL DOES NOT WAIVE OR ALTER THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE AND VERIFY FIELD DIMENSIONS, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION. THE SUBMITTAL SHALL BE REVIEWED BY THE CONTRACTOR AND STAMPED WITH CONTRACTOR'S APPROVAL THAT IT HAS BEEN REVIEWED AND CONFORMS TO THE INTENT OF THE CONSTRUCTION DOCUMENTS, PRIOR TO SUBMITTING TO THE ARCHITECT. INCOMPLETE SUBMITTALS, NOT REVIEWED OR SUBMITTALS NOT STAMPED BY THE CONTRACTOR WILL BE RETURNED TO THE CONTRACTOR WITHOUT BEING REVIEWED BY THE ARCHITECT.

24. SUBSTITUTION REQUESTS BY THE CONTRACTOR SHALL BE MADE BY SUBMITTING THREE COPIES OF EACH REQUEST FOR CONSIDERATION. EACH SUBSTITUTION REQUEST SHALL IDENTIFY PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED. INCLUDE SPECIFICATION SECTION NUMBER AND TITLE AND DRAWING NUMBERS AND TITLES.

a. SUBSTITUTION REQUEST FORM: USE CSI FORM 13.1A.

b. DOCUMENTATION: SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS AND THE FOLLOWING, AS APPLICABLE:

1) PROVIDE A STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION OR INSTALLATION CANNOT BE PROVIDED, IF APPLICABLE.

2) COORDINATION INFORMATION, INCLUDING A LIST OF CHANGES OR REVISIONS NEEDED TO OTHER PARTS OF THE WORK AND TO CONSTRUCTION PERFORMED BY OWNER AND SEPARATE CONTRACTORS, THAT WILL BE NECESSARY TO ACCOMMODATE PROPOSED SUBSTITUTION.

3) DETAILED COMPARISON OF SIGNIFICANT QUALITIES OF PROPOSED SUBSTITUTION WITH THOSE OF THE WORK SPECIFIED. SIGNIFICANT QUALITIES MAY INCLUDE ATTRIBUTES SUCH AS PERFORMANCE, WEIGHT, SIZE, DURABILITY, VISUAL EFFECT, SUSTAINABLE DESIGN CHARACTERISTICS, WARRANTIES, AND SPECIFIC FEATURES AND REQUIREMENTS INDICATED. INDICATE DEVIATIONS, IF ANY, FROM THE WORK SPECIFIED.

4) PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION PROCEDURES.

5) SAMPLES, WHERE APPLICABLE OR REQUESTED.

6) CERTIFICATES AND QUALIFICATION DATA, WHERE APPLICABLE OR REQUESTED.

7) LIST OF SIMILAR INSTALLATIONS FOR COMPLETED PROJECTS WITH PROJECT NAMES AND ADDRESSES AND NAMES AND ADDRESSES OF ARCHITECTS AND OWNERS.

8) MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING AND INTERPRETING TEST RESULTS FOR COMPLIANCE WITH REQUIREMENTS INDICATED.

9) RESEARCH REPORTS EVIDENCING COMPLIANCE WITH BUILDING CODE IN EFFECT FOR PROJECT.

10) DETAILED COMPARISON OF CONTRACTOR'S CONSTRUCTION SCHEDULE USING PROPOSED SUBSTITUTION WITH PRODUCTS SPECIFIED FOR THE WORK, INCLUDING EFFECT ON THE OVERALL CONTRACT TIME. IF SPECIFIED PRODUCT OR METHOD OF CONSTRUCTION CANNOT BE PROVIDED WITHIN THE CONTRACT TIME, INCLUDE LETTER FROM MANUFACTURER, ON MANUFACTURER'S LETTERHEAD, STATING DATE OF RECEIPT OF PURCHASE ORDER, LACK OF AVAILABILITY, OR DELAYS IN DELIVERY.

11) COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.

12) CONTRACTOR'S CERTIFICATION THAT PROPOSED SUBSTITUTION COMPLIES WITH REQUIREMENTS IN THE CONTRACT DOCUMENTS EXCEPT AS INDICATED IN SUBSTITUTION REQUEST, IS COMPATIBLE WITH RELATED MATERIALS, AND IS APPROPRIATE FOR APPLICATIONS INDICATED.

13) CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY SUBSEQUENTLY BECOME NECESSARY BECAUSE OF FAILURE OF PROPOSED SUBSTITUTION TO PRODUCE INDICATED RESULTS.

25. THE RETURN OF SHOP DRAWINGS TO THE CONTRACTOR, WITH OR WITHOUT COMMENT, DOES NOT RELIEVE THE CONTRACTOR AND THEIR SUB CONTRACTORS OF THE RESPONSIBILITY TO CONSTRUCT THE BUILDING PER THE PLANS AND SPECIFICATIONS, EVEN THOUGH THE SHOP DRAWINGS MAY INCORRECTLY DEVIATE FROM THE CONSTRUCTION DOCUMENTS. THE ARCHITECT, THEIR CONSULTANTS OR THE OWNER IS NOT RESPONSIBLE FOR ANY CORRECTIVE CONSTRUCTION RESULTING FROM SHOP DRAWINGS THAT DEVIATE FROM THE CONTRACT DOCUMENTS.

26. THE CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTIES, WARRANTIES AND TWO (2) COPY OF ALL MANUALS AND OPERATING INSTRUCTIONS. CONTRACTOR SHALL ARRANGE TO PROVIDE A LIVE DEMONSTRATION OF ALL EQUIPMENT (OPERATION AND SERVICING) TO OWNER OR REPRESENTATIVE.

27. WHEN TWO (2) OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED, ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE CONTRACTOR SHALL SELECT THE MOST STRINGENT REQUIREMENT OR STANDARD AS INTENDED.

28. ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. DELIVERY AND STORAGE OF MATERIALS AND SYSTEMS SHALL BE PER THE MANUFACTURE'S REQUIREMENTS.

29. THE CONTRACTOR SHALL OBTAIN A SPECIALTY ENGINEER WHO SHALL BE RESPONSIBLE FOR ALL MATERIALS, COMPONENTS AND SYSTEMS AS REQUIRED BY THE FBC. SPECIALTY ENGINEERING SHALL ALSO BE PROVIDED FOR SYSTEMS MENTIONED ELSEWHERE IN THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

30. ANY WORK NOTED OR INDICATED AS "BY OWNER" OR "BY TENANT" IN CONTRACT DOCUMENTS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE OWNER.

31. CONTRACTOR SHALL PROVIDE ISOLATION / SEPARATION OF MATERIALS WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, TO PREVENT GALVANIC REACTION AND POTENTIAL CORROSION OR DEGRADATION.

32. CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETS, SHELVING, TOILET ACCESSORIES, PLUMBING FIXTURES, LIGHT FIXTURES, ETC. FIRE RETARDANT WOOD BLOCKING, NAILERS OR FURRING STRIPS LOCATED IN CONCEALED SPACES, SUCH AS PARTITIONS OR ABOVE CEILINGS ARE ALLOWED.

33. ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK".

34. ALL FIRE RATED GYPSUM PARTITIONS AND/OR GYPSUM SOUND CONTROL PARTITIONS SHALL HAVE A UL APPROVED TESTING NUMBER AND/OR GA FILE NUMBER FROM THE LATEST EDITION OF THE GA-6000 FIRE RESISTANCE DESIGN MANUAL.

35. THE FINAL LOCATIONS OF ALL VISIBLE DEVICES, (OUTLETS, SWITCHES, THERMOSTATS, LIFE SAFETY DEVICES ETC.) SHALL BE COORDINATED WITH THE APPROPRIATE TRADES AND CONTRACTOR. FURNITURE, ARTWORK AND PICTURES SHOULD BE FACTORED INTO THE PLACEMENT OF THESE DEVICES. THE ARCHITECT AND THE OWNER SHALL REVIEW AND APPROVE ALL LOCATIONS PRIOR TO THE INSTALLATION OF VISIBLE DEVICES, EITHER BY FIELD CONFIRMATION OR REVIEW OF SHOP DRAWINGS.

36. THE CONTRACTOR SHALL MAINTAIN A CLEAN PROJECT SITE. ALL REFUSE SHALL BE REMOVED FROM THE SITE DAILY AND PRIOR TO FINAL COMPLETION. THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE INCLUDING ALL SURFACES.

37. PER FBC SECTION 403.4, CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONDER RADIO COVERAGE. INSTALL A BI-DIRECTIONAL AMPLIFICATION SYSTEM FOR THE FIRE DEPARTMENT RADIO AMPLIFICATION.

38. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ACTIVITY WILL BE PERFORMED IN A MANNER SO AS NOT TO ADVERSELY IMPACT THE CONDITION OF ANY ADJACENT PROPERTY (OR THE PUBLIC WAY), UNLESS SUCH ACTIVITY IS PERMITTED TO AFFECT SAID PROPERTY PURSUANT TO A CONSENT BY THE APPLICABLE PROPERTY OWNER, UNDER TERMS & CONDITIONS AGREEABLE TO THE APPLICABLE PROPERTY OWNER.

39. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING CONTROL MEASURES NECESSARY TO ENSURE THAT CONSTRUCTION RELATED MATERIALS, EQUIPMENT, AND DEBRIS SHALL NOT REMAIN LOOSE OR OTHERWISE UNSECURED ON THE CONSTRUCTION SITE. FROM 24 HOURS AFTER A HURRICANE WATCH HAS BEEN ISSUED UNTIL THE HURRICANE WATCH OR WARNING HAS BEEN LIFTED.

40. ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMSHES. NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED IN THE CONSTRUCTION DOCUMENTS. ALL MATERIAL AND SYSTEMS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.

41. UPON COMPLETION OF THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL DEVELOP A PUNCH LIST OF ITEMS THAT NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED. THE CONTRACTOR SHALL ALSO INCLUDE A DOLLAR VALUE FOR ALL ITEMS NOT COMPLETED AT THE TIME OF THE PUNCH. UPON COMPLETION OF THE WORK, ITEMS IDENTIFIED IN THE CONTRACTOR'S PUNCH LIST, THE ARCHITECT WILL VISIT THE SITE TO REVIEW THE STATUS OF THE WORK. IF THE ARCHITECT DEEMS THE WORK SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL DEVELOP A PUNCH LIST OF MINOR WORK ITEMS TO ACCOMPANY THE CERTIFICATE OF SUBSTANTIAL COMPLETION.

42. THE CONTRACTOR SHALL DELIVER TO OWNER, PRIOR TO FINAL PAYMENT, ALL GUARANTIES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL COORDINATE INSTRUCTION / TRAINING SCHEDULES WITH THE OWNER'S OPERATIONS PERSONNEL. ADJUST SCHEDULES AS REQUIRED TO MINIMIZE DISRUPTING THE OWNER'S OPERATIONS AND TO ENSURE AVAILABILITY OF THE OWNER'S PERSONNEL. COORDINATE THE CONTENT OF TRAINING MODULES WITH THE CONTENT OF APPROVED EMERGENCY, OPERATION, AND MAINTENANCE MANUALS. DO NOT SUBMIT INSTRUCTION / TRAINING PROGRAMS UNTIL THE OPERATION AND MAINTENANCE DATA HAS BEEN REVIEWED BY THE ARCHITECT.

43. ALL LABOR, MATERIALS AND INSTALLATIONS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION, EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS, AND AS REQUIRED BY FLORIDA STATUTE 718.

44. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY WORK THAT IS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE CORRECTION OF FAULTY WORKMANSHIP OR EQUIPMENT WITHIN THE WARRANTY PERIOD.

45. THE CONTRACTOR SHALL COORDINATE ALL MILLWORK WITH THE EQUIPMENT PLANS PRIOR TO FABRICATION OF MILLWORK. COORDINATE ALL ELECTRICAL, LOW VOLTAGE, GAS, PLUMBING AND ANY OTHER SERVICES OR DEVICE LOCATIONS WITH FIXTURE PLANS PRIOR TO ROUGHING IN THE EQUIPMENT.

46. THE FOLLOWING APPLIES TO ALL MILLWORK ITEMS AND REMAINS TYPICAL UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS. ALL COUNTERTOP MATERIAL ITEMS SHALL HAVE FINISHED EDGES. ALL CABINET / DRAWER INTERIORS ARE TO BE FINISHED. ALL MILLWORK ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PREMIUM GRADE STANDARDS AS ESTABLISHED BY THE ARCHITECTURAL WOODWORKING INSTITUTE. ALL MATERIAL, EQUIPMENT AND WORKMANSHIP SHOULD CONFORM TO INDUSTRY STANDARD PRACTICES, PROCEDURES, CONDITIONS AND RECOMMENDATIONS AS SPECIFIED BY ANSINEMA LD3-2005, SECTION DLPA (DECORATIVE LAMINATE PRODUCTS ASSOC.) AND ANSI/SPVC 1612 STANDARDS. MILLWORK CONTRACTOR SHALL COMPLY WITH ALL JOB SITE BUILDING CODES AND REGULATIONS.

REV	DESCRIPTION	DATE:

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FC FOUNDATION, INC.

3470 CLUB CENTER BLVD
NAPLES, FL 34114

EMPLOYEE AREA &
POOL RESTROOM
RENOVATIONS

GENERAL
NOTES

A-0.02

PROJECT DATE:
01/26/2025 12:46:11 PM

PROJECT NUMBER: 2025.06.17

SHEET NUMBER:

DRAWING NAME

PROJECT

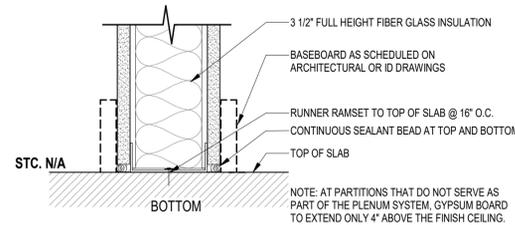
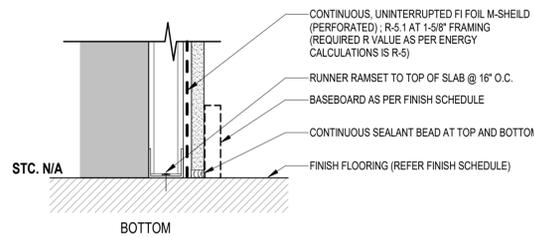
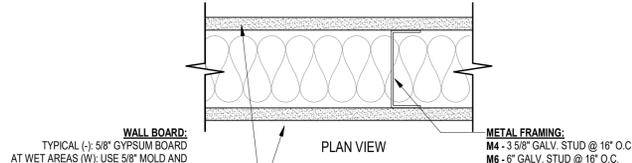
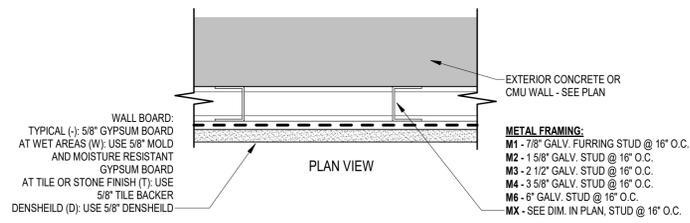
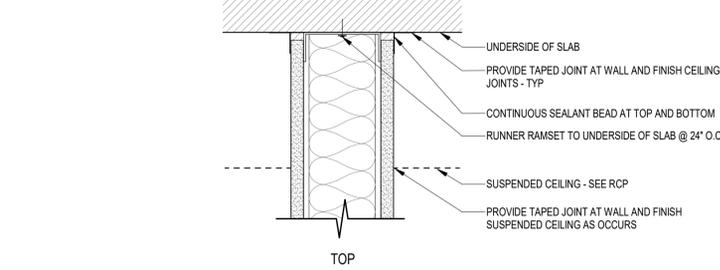
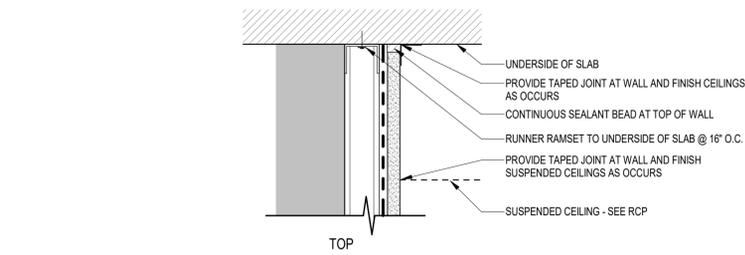
CLIENT

TITLE

CONSTRUCTION DOCUMENTS: 2025.06.17

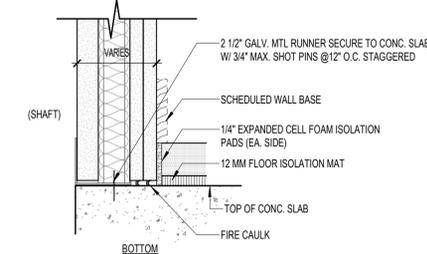
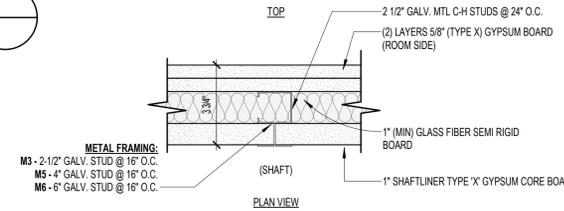
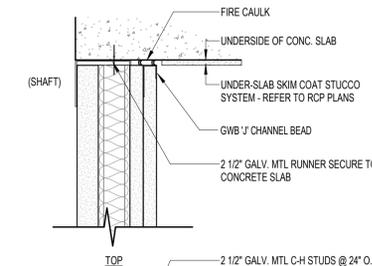
WALLS AND PARTITIONS

NOMINAL STUD SIZE	M1: 7/8" METAL STUDS	PARTITION TYPE (SEE DETAILS ON THIS SHEET)	(-) TYPICAL	WET WALL SEE NOTE 9
	M2: 1 5/8" METAL STUDS		(W) WET WALL ONE SIDE	
CORE MATERIAL	M3: 2 1/2" METAL STUDS	M4-1 1H W	(WW) WET WALL BOTH SIDES	FIRE RATING
	M4: 3 5/8" METAL STUDS		(T) TILE BACKER ONE SIDE	
	M5: 4" METAL STUDS		(TT) TILE BACKER BOTH SIDES	
	M6: 6" METAL STUDS		(WT) WET WALL ONE SIDE, TILE BACKER ONE SIDE	
M8: 8" METAL STUDS			(-) NON RATED WALL	
			(1H): 1 HR RATED WALL	
			(2H): 2 HR RATED WALL	



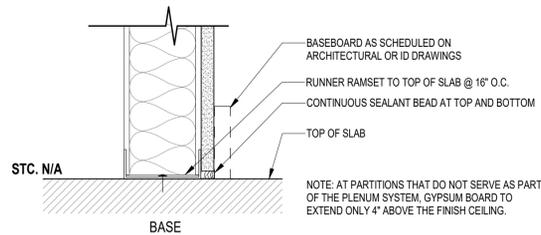
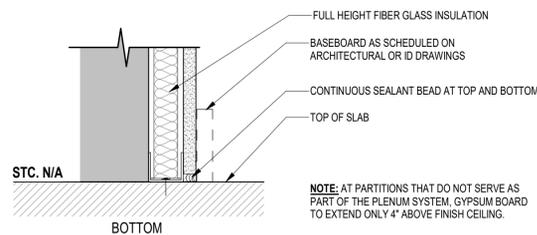
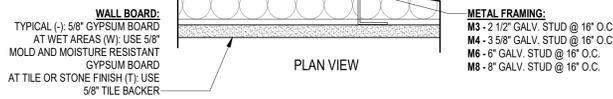
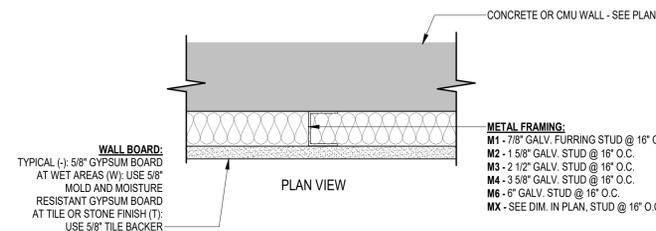
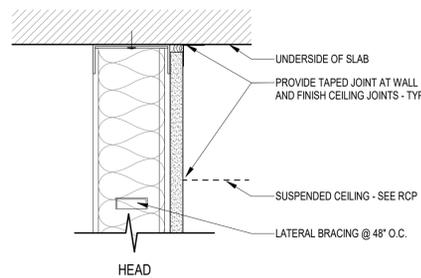
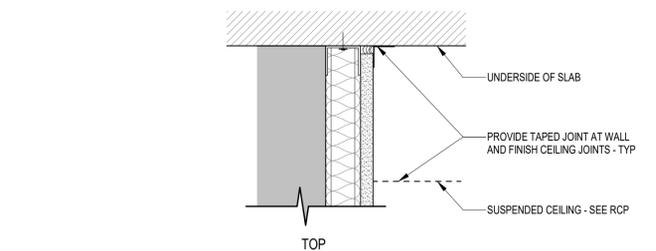
- TYPE 1 - STUD PARTITION @ EXTERIOR WALL

- TYPE 2- TYPICAL INTERIOR PARTITION



SECURE BASE PANEL BOARD WITH 1" TYPE S DRYWALL SCREWS @ 24" O.C. AND 6" FROM FLOOR/CEILING RUNNERS; FACE LAYER SECURED WITH 1 5/8" TYPE S SCREWS 12" O.C. AND 3" FROM FLOOR/CEILING RUNNERS; VERTICAL JOINTS OFFSET 24" FROM BASE LAYER JOINTS.

- TYPE 5- SHAFTWALL PARTITION



- TYPE 3- ONE SIDED PARTITION AT INTERIOR CONCRETE / CMU

- TYPE 4- TYPICAL ONE SIDED PARTITION

1. THE PARTITION TYPES DEPICTED HEREIN ARE DIAGRAMMATIC IN NATURE. REFER TO STC TEST REPORTS, UL DESIGN SYSTEM AND GA-600 FILE NUMBER FOR ADDITIONAL INFORMATION AND REQUIREMENTS

2. PARTITION TAG DESIGNATION IS INTENDED TO INDICATE PARTITION TYPE ALONG AN ENTIRE PARTITION PLANE AND/OR SURFACE ALONG THE FULL LENGTH OF A SPACE OR CORRIDOR, UNLESS INDICATED OTHERWISE

3. ABOVE ALL CEILINGS AND IN CONCEALED SPACES OF ALL FIRE RATED PARTITIONS OR WALLS, SIGNS OR STENCILED LETTERS SHALL BE PROVIDED EVERY 30'-0" O.C. AND WITHIN 15 FT OF THE END OF THE WALL WORDED AS SUCH: "FIRE & SMOKE BARRIER PROTECTED OPENINGS"

4. REFER TO LIFE SAFETY CODE PLANS FOR LOCATION AND FULL EXTENT OF FIRE RATED PARTITIONS OR WALLS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PARTITION AND WALL RATINGS

5. GYPSUM BOARD AND SURFACE FINISH MATERIAL SHALL EXTEND A MINIMUM OF 6" ABOVE NEAREST ADJACENT CEILING, UNLESS NOTED OTHERWISE. INSULATION AT EXTERIOR WALLS MUST EXTEND TO DECK ABOVE

6. REFER TO FINISH SCHEDULES AND FINISH PLANS FOR TYPE OF FINISH TO BE UTILIZED ON SCHEDULED PARTITION AT PARTICULAR LOCATIONS

7. IF A CEILING IS NOT SCHEDULED IN A ROOM OR SPACE, CONTRACTOR IS TO CONTINUE GWB TO THE UNDERSIDE OF STRUCTURE ABOVE ON THE EXPOSED SIDE OF THE PARTITION OR WALL

8. USG/THE GYPSUM CONSTRUCTION HANDBOOK, 7th EDITION SHALL BE USED AS A REFERENCE AND A GUIDE, AND IS MADE PART OF THESE PARTITION TYPES AND DETAILS FOR THE MINIMUM INSTALLATION STANDARDS

9. PROVIDE 5/8" THICKNESS GYPSUM BOARD PANELS AT ALL LOCATIONS UNLESS OTHERWISE INDICATED (IN REMARKS ON PARTITION TYPE)

10. PROVIDE WATER-RESISTANT GYPSUM BACKING BOARD FOR PARTITIONS IN KITCHEN PUBLIC/EMPLOYEE TOILETS, BATHROOMS, AND OTHER WALLS WITHIN 36" (MIN.) LATERALLY OF PLUMBING FIXTURES

11. INSTALLATIONS AT TUB, SHOWER, SAUNAS, KITCHENS, AND STEAM ROOM AREAS TO RECEIVE CEMENTITIOUS BACKER UNITS AND AT ALL CERAMIC TILE WALLS

12. PROVIDE FIRE RESISTANCE RATED GYPSUM BOARD PANELS AS REQUIRED FOR FIRE RATED ASSEMBLIES

13. PROVIDE FRAMING SPACED AT 16 INCHES O.C. MAX. AT ALL NON-LOAD BEARING PARTITIONS UNLESS OTHERWISE INDICATED

14. PROVIDE FRAMING SPACED AT 12 INCHES O.C. MAX AT ALL LOCATIONS WHERE PARTITIONS SUPPORT WALL CABINETS

15. ALL EXTERIOR WALLS TO BE GALVANIZED METAL STUDS UNLESS OTHERWISE NOTED

16. REFERENCE STRUCTURAL DRAWINGS FOR FRAMING SPACING AT BEARING WALLS

17. UL NUMBERS REFER TO APPROVED ASSEMBLIES DESCRIBED IN THE UNDERWRITERS LABORATORIES INC. FIRE RESISTANCES DIRECTORY VOLUME 1, 2014 EDITION.

18. GA FILE NUMBERS REFER TO ASSEMBLIES DESCRIBED IN THE GYPSUM ASSOCIATION FIRE RESISTANCES DESIGN MANUAL (GA-600-12), 20th EDITION.

19. GAUGE OF MTL. FRAMING FOR NON LOAD BEARING PARTITIONS DETERMINED BY CONTRACTOR BASED ON HEIGHT OF PARTITION, 5 PSF LATERAL LOAD AND MAX. DEFLECTION OF L/360. W/O COMPOSITE ASSEMBLY WITH WALL FINISH. REFER TO MARINOWARE STUD-RITE DRYWALL FRAMING SYSTEM OR EQUAL. CONTRACTOR TO SUBMIT FRAMING MANUFACTURING BROCHURE & TABLES FOR REVIEW.

20. ALL PARTITION WALLS SEPARATING PARKING FROM THE BUILDING INTERIOR, UNIT DEMISING WALLS AND UNIT INTERIOR WALLS THAT ARE SCHEDULED TO RECEIVE BATT INSULATION SHALL USE MINERAL WOOL INSULATION; FIBER GLASS INSULATION MAY BE USED FOR COMMON AREA WALLS.

21. ALL SCHEDULED GYPSUM LINER PANEL SHALL BE USG SHEETROCK BRAND ENHANCED (e+) GYPSUM LINER PANEL OR EQUIVALENT. PANEL SHALL MEET ASTM D3273-00 FOR RESISTANCE TO GROWTH OF MOLD.

22. RECOMMENDED LEVELS OF GYPSUM BOARD FINISH SHALL COMPLY WITH GA-214-10, PUBLISHED BY THE GYPSUM ASSOCIATION (GACI) (ASSOCIATION OF THE WALL AND CEILING INDUSTRIES-INTERNATIONAL) AND SHALL MEET ASTM C840, STANDARD SPECIFICATION FOR APPLICATION AND FINISHING OF GYPSUM BOARD.

23. LEVEL OF FINISH: THE MINIMUM REQUIREMENT FOR EACH LEVEL SHALL BE AS DESCRIBED HEREIN:

- A. LEVEL 0; NOT ACCEPTABLE AND SHALL NOT BE USED.
- B. LEVEL 1; USE IN PLENUM AREAS, ABOVE FINISH CEILINGS AND CONCEALED SPACES. CAN BE USED IN BACK OF HOUSE SPACES AND SERVICE CORRIDORS AND OTHER SPACES NOT OPEN TO PUBLIC VIEWS.
- C. LEVEL 2; USE AT AREA SPECIFIED TO RECEIVE WALL TILES AND WHERE WATER-RESISTANT GYPSUM IS USED AS A SUBSTRATE.
- D. LEVEL 3; USE AT AREAS THAT WILL RECEIVE HEAVY OR MEDIUM (SPRAY OR HAND APPLIED) FINISHES. BEFORE FINAL PAINTING OR HEAVY GRADE WALL COVERING ARE TO BE APPLIED AS FINAL FINISH.
- E. LEVEL 4; USE AT AREAS THAT WILL RECEIVE FLAT PAINTS AND LIGHT TEXTURE COATINGS AS THE FINAL FINISH.
- F. LEVEL 5; USE AT AREAS WHERE GLOSS, SEMI-GLOSS, ENAMEL OR NON-TEXTURE FLAT PAINTS ARE SPECIFIED AND WALL COVERINGS AS THE FINAL FINISH. USE THIS LEVEL AT ALL HIGH END PUBLIC SPACES, SUCH AS MAIN LOBBY, PUBLIC CORRIDORS AND WHERE SEVERE LIGHTING CONDITION WILL OCCUR.

NOTE: UNDERWRITERS LABORATORY TESTED DESIGN NUMBERS ARE PROVIDED FOR REFERENCE PROPOSES, CONTRACTOR SHALL OBTAIN ORIGINAL DOCUMENTS AND MUST BE AVAILABLE AT SITE DURING CONSTRUCTION FOR REVIEW BY TRADES, CONSULTANTS AND INSPECTORS.

DATE:	
DESCRIPTION	
REV	

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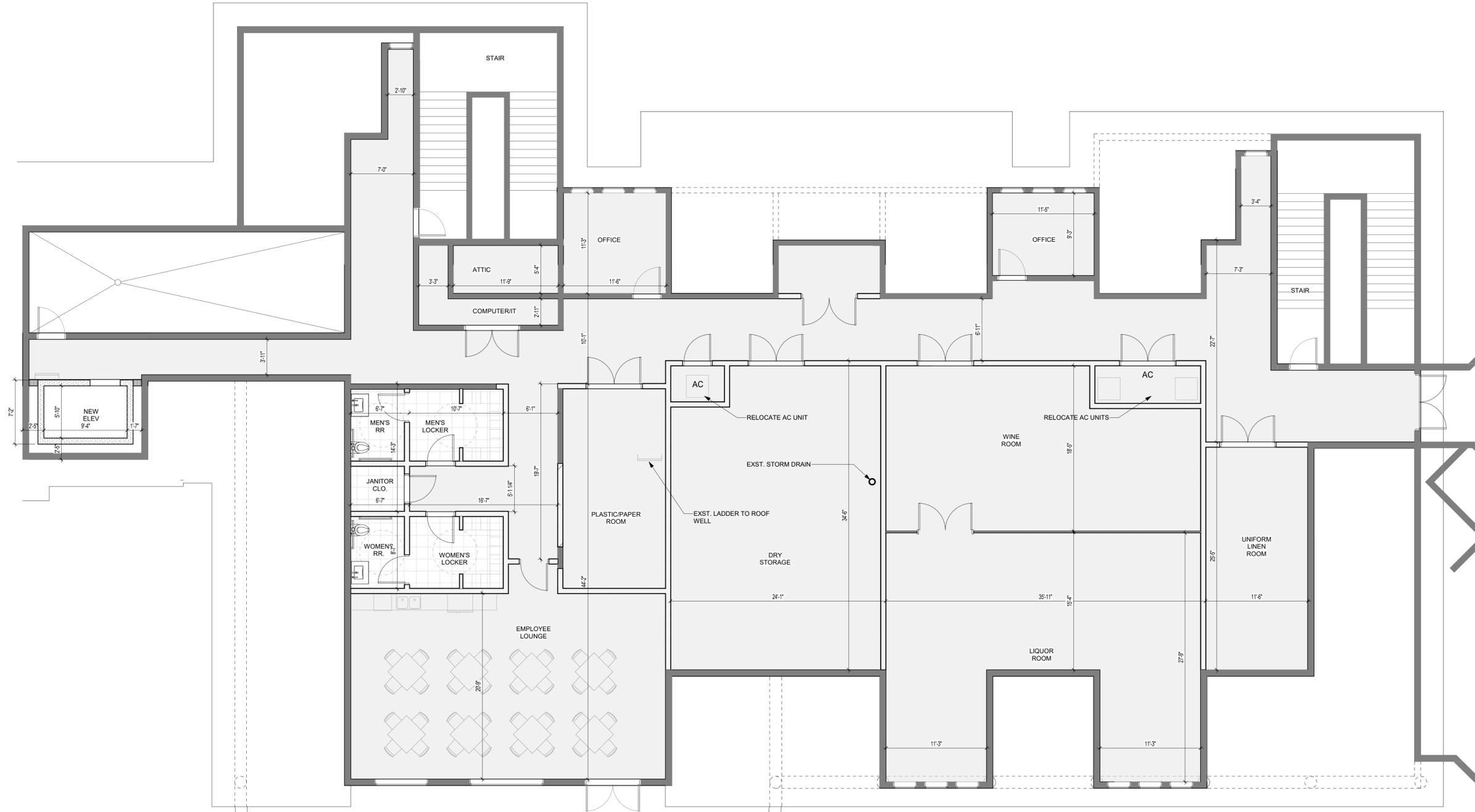
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EMPLOYEE AREA & POOL RESTROOM RENOVATIONS

PARTITION TYPES

PROJECT NUMBER: 2023-07
 SHEET NUMBER: **A-0.06**
 PRINT DATE: 01/22/25 12:46:14 PM



EMPLOYEE AREA -OVERALL DIMENSION PLAN

3/16" = 1'-0"

2
A-1.01-1



CONSTRUCTION DOCUMENTS

A-1.01-1

SECOND FLOOR - DIMENSION PLAN

FIDDLER'S CREEK - EMPLOYEE SERVICE

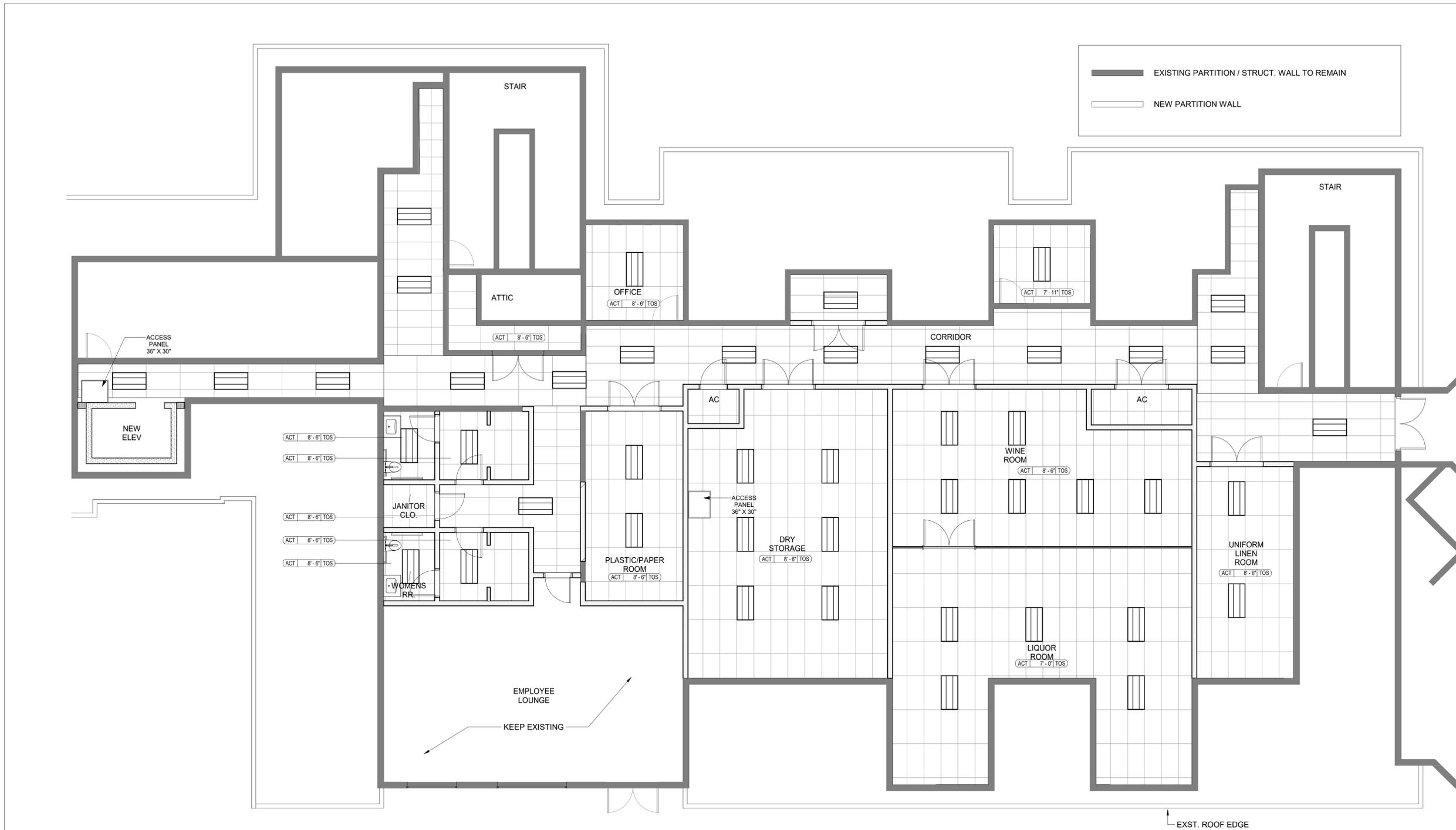
GULF BAY DEVELOPMENT

garciastromberg

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.

REV	DESCRIPTION	DATE

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 Charles H. Stromberg, RA, NCARB
 Architects
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EXISTING PARTITION / STRUCT. WALL TO REMAIN
 NEW PARTITION WALL

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.

REV#	DESCRIPTION	DATE

garciastromberg

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 Charles J. Stromberg, RA, NCARB
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CLIENT
GULF BAY DEVELOPMENT

PROJECT
FIDDLER'S CREEK -
EMPLOYEE SERVICE

DRAWING NAME
SECOND FLOOR -
REFLECTED
CEILING PLAN

CONSTRUCTION DOCUMENTS

SHEET NUMBER
A-1.01-2

PRINT DATE:
5/22/2025 11:42:AM

EMPLOYEE AREA RCP

3/16" = 1'-0"

1



EXST. ROOF EDGE

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.



- GENERAL NOTES**
- GENERAL CONTRACTOR (GC) HAS SOLE RESPONSIBILITY TO COORDINATE MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION INSTALLATIONS. LIGHT FIXTURE PLACEMENT TAKES PRECEDENCE OVER ALL OTHER TRADES. GC WILL ALSO BE REQUIRED TO PROPERLY SCHEDULE THE WORK OF ANY TELECOMMUNICATIONS, SECURITY AND VISUAL WORK.
 - GC TO COORDINATE LIGHT FIXTURE DEPTH AND PLACEMENT WITH ALL OTHER ABOVE CEILING WORK PRIOR TO ORDERING OF LIGHT FIXTURES.
 - CEILING SUPPORT SYSTEMS ARE NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLES, CONDUITS, MECHANICAL EQUIPMENT OR ANY OTHER ITEMS. ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO (2) OPPOSITE CORNERS.
 - DO NOT SUBSTITUTE MATERIALS, EQUIPMENT, OR METHODS UNLESS SUCH SUBSTITUTIONS HAVE BEEN SPECIFICALLY APPROVED FOR THIS PROJECT BY THE ARCHITECT OR ENGINEER.
 - COORDINATE WITH RCP FOR MOUNTING HEIGHTS WHERE APPLICABLE.
 - SWITCHING PLAN AND LIGHTING CONTROLS TO BE PROVIDED BY OWNER'S AV CONSULTANT.
 - REFER TO AND COORDINATE WITH ELECTRICAL ENGINEER'S SPECIFICATIONS, SCHEDULES AND DRAWINGS.
 - ALL FINISH CEILING HEIGHTS TO BE INSTALLED AS INDICATED ON DRAWINGS. ANY CHANGES TO FINISH HEIGHTS SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 - GC SHALL INSTALL AND COORDINATE ALL REQUIRED ACCESS PANELS TO ACCESS EQUIPMENT, VALVES, SWITCHES OR OPERABLE DEVICES, AS WELL AS FILTERS, DAMPERS AND ETC.
 - THE ARCHITECTURAL RCP SHALL BE USED TO LOCATE ALL DIFFUSERS, RETURN GRILLES HOWEVER LOCATIONS MUST BE VERIFIED & COORDINATED WITH DUCTWORK ABOVE CLGS. REFER TO MECH DRAWINGS.
 - ONE (1) LIGHT FIXTURE IN EACH SPACE TO BE TIED TO EMERGENCY POWER. ALL EXIT SIGNS SHALL BE ON EMERGENCY POWER. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 - LIGHT FIXTURE SYMBOLS WITH DIAGONAL SHADING INDICATE EMERGENCY POWER/NIGHT LIGHT FIXTURE LOCATIONS. REFER TO ELECTRICAL DRAWINGS.
 - REFER TO ELECTRICAL DRAWINGS FOR CIRCUITING & SWITCHING INFORMATION.

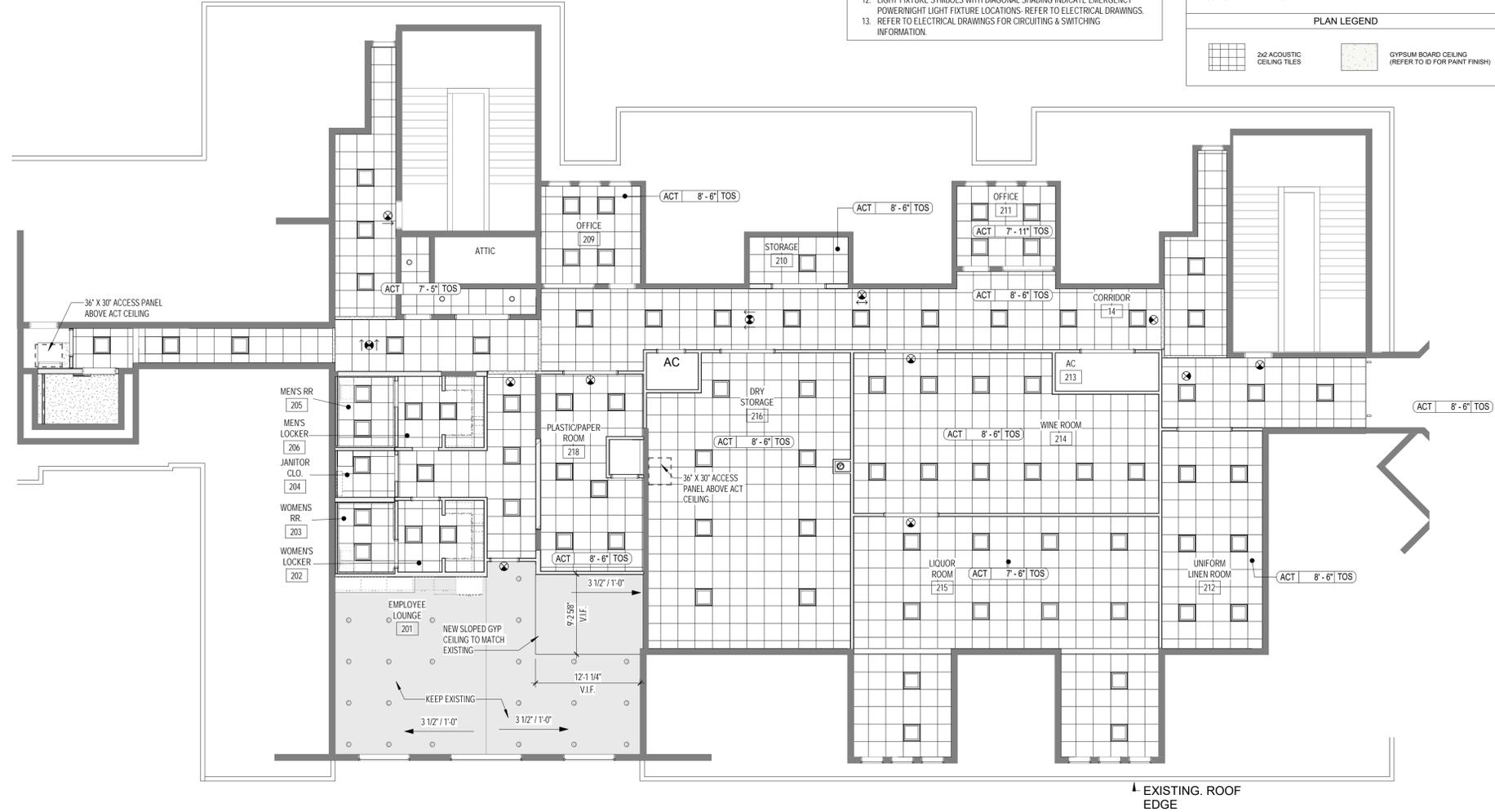
RCP LEGEND

	WALL SCONCE		ALARM BELL STROBE
	2x2 TROFFER LIGHT		GENERAL ALARM
	RECESSED ADJUSTABLE DOWNLIGHT - REFER TO LIGHTING CONSULTANT		SPRINKLER HEAD
	SUSPENDED CYLINDER DOWNLIGHT - REFER TO LIGHTING CONSULTANT		CARBON MONOXIDE
	PICTURE LIGHT		HEAT DETECTOR
	EXIT LIGHT - R.O.D. EDGE LIT BY EXITRONIX, 9000UM-WB-SR-R-AG		SMOKE DETECTOR
	EMERGENCY LIGHT - REFER TO FA		WALL MOUNTED DIFFUSER - FINISH TO MATCH WALL U.O.N. - REFER TO MECHANICAL
	NEW CCTV CAMERA		LINEAR DIFFUSER - FINISH TO MATCH CEILING U.O.N. - REFER TO MECHANICAL
	NEW ACCESS PANEL (GC TO COORDINATE LOCATION OF ACCESS PANEL TO ALLOW ACCESS TO MECHANICAL EQUIPMENT) BASIS OF DESIGN: BALCO PLUS II (GC TO PROVIDE SHOP DRAWINGS) REFER TO RCP FOR FINISHES.		12" X 12" OR 24" X 24" SUPPLY DIFFUSER - REFER TO MECHANICAL
			12" X 12" OR 24" X 24" RETURN DIFFUSER - REFER TO MECHANICAL

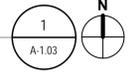
PLAN LEGEND

	2x2 ACOUSTIC CEILING TILES		GYPSUM BOARD CEILING (REFER TO ID FOR PAINT FINISH)
--	----------------------------	--	---

NOTE:
1. SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY. REFER TO AND COORDINATE WITH CONSULTANT'S DRAWINGS.



EMPLOYEE AREA REFLECTED CEILING PLAN



CONSTRUCTION DOCUMENTS: 2025.06.17

PROJECT NUMBER: 2023-07
A-1.03
 PRINT DATE: 01/02/2025 9:27 AM

DRAWING NAME
EMPLOYEE SERVICE AREA - REFLECTED CEILING PLAN

PROJECT
EMPLOYEE AREA & POOL RESTROOM RENOVATIONS

CLIENT
FC FOUNDATION, INC.
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 NAPLES, FL 34114

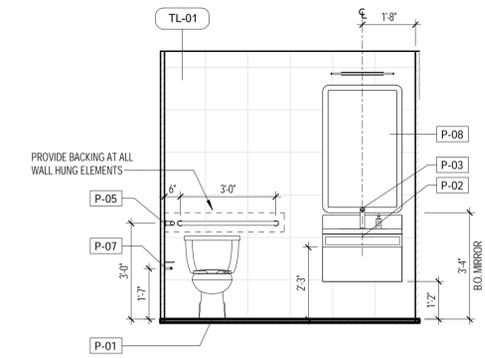
ARCHITECT
garcia stromberg
 Peter T. Stromberg (A, NCARB)
 Chief Architect
 AR00105803
 2285 Vidal Parkway, Suite 16 | West Palm Beach, FL 33411 | TEL: 561-478-5856

REV	DESCRIPTION	DATE

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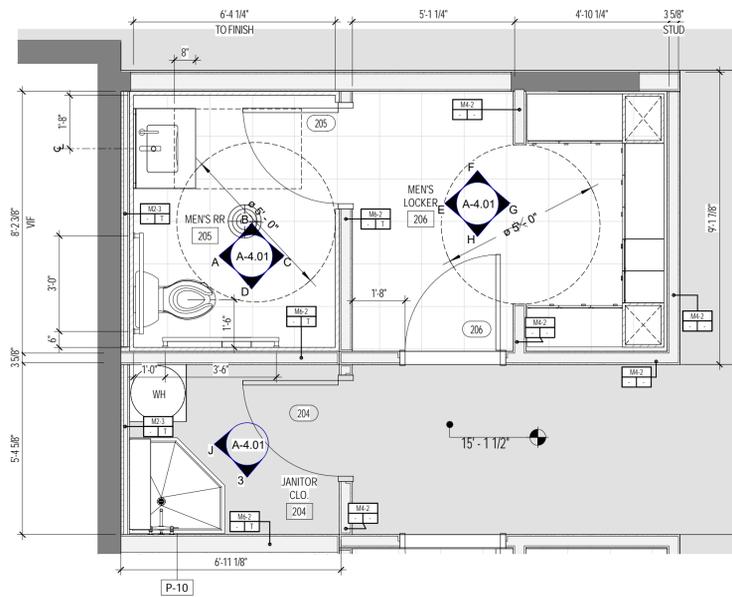
SPECIALTY EQUIPMENT & PLUMBING FIXTURES SCHEDULE

TAG	ITEM DESCRIPTION	MANUFACTURER	MODEL OR PRODUCT #	FINISH / MATERIAL	LOCATION	COMMENTS
P-01	NA	KOHLER Co.	NA			
P-02	UNDERMOUNT SINK	AMERICAN STANDARD		WHITE VITREOUS CHINA		
P-03	TOUCHLESS FAUCET	TOTO	TELS1A5	STAINLESS STEEL		
P-04	WALL MOUNTED FULL LENGTH MIRROR	KWC Group AG	M400HD			
P-05	FINO COLLECTION 1 1/2" (38mm) diameter stainless steel grab bar	BOBRICK	B-9807-36 SS			
P-06	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	B-353		WOMEN'S RR	
P-07	SURFACE-MOUNTED TOILET TISSUE DISPENSER & UTILITY SHELF	BOBRICK	B-540			
P-08	LIGHTED MIRROR	ELECTRIC MIRROR	EYL2-RC2.0-30.00x36.00-L7CSHD-30K			
P-10	CORNER MOP SINK	STERN WILLIAMS	EBC-150			
P-11	CLINICAL SERVICE SINK FAUCET WITH VACUUM BREAKER	ZURN	Z873M2-SE			
P-12	UTILITY SHELF	BRADLEY CORP.	9933 BradEX			
P-16	6 FEET HIGH - 15 INCH DEEP TRIPLE TIER -3 WIDE LOCKER WITH BASE	Salsbury Industries	15-43364ST-BE	WOOD		
P-17	6 FEET HIGH - 15 INCH DEEP TRIPLE TIER -1 WIDE LOCKER WITH BASE	Salsbury Industries	15-43164ST-BE	WOOD		



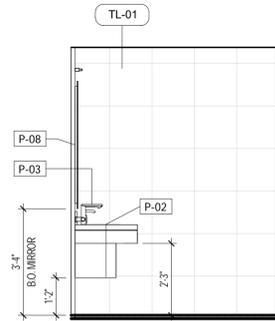
MEN'S LOCKER ROOM ELEVATION A

3/8" = 1'-0"



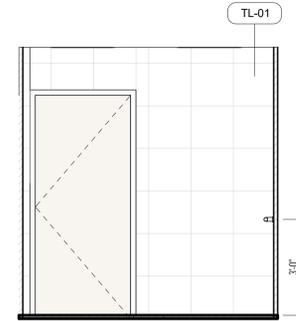
MEN'S LOCKER ROOM ENLARGED PLAN

3/8" = 1'-0"



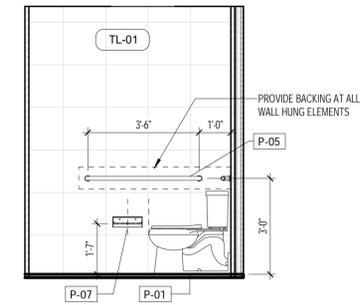
MEN'S LOCKER ROOM ELEVATION B

3/8" = 1'-0"



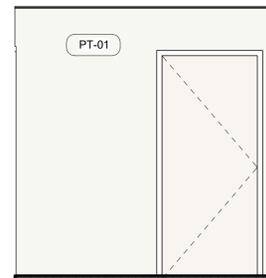
MEN'S LOCKER ROOM ELEVATION C

3/8" = 1'-0"



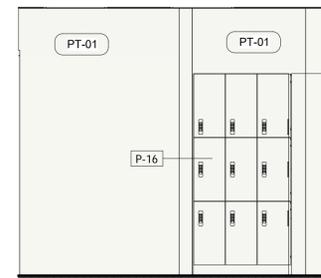
MEN'S LOCKER ROOM ELEVATION D

3/8" = 1'-0"



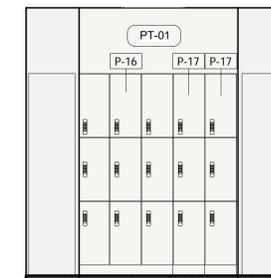
MEN'S LOCKER ROOM ELEVATION E

3/8" = 1'-0"



MEN'S LOCKER ROOM ELEVATION F

3/8" = 1'-0"



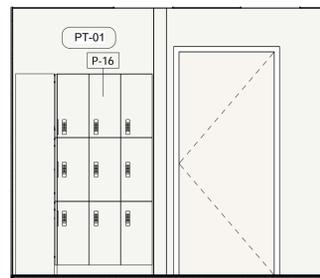
MEN'S LOCKER ROOM ELEVATION G

3/8" = 1'-0"



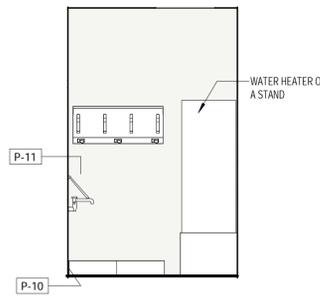
MEN'S LOCKER ROOM ENLARGED RCP

3/8" = 1'-0"



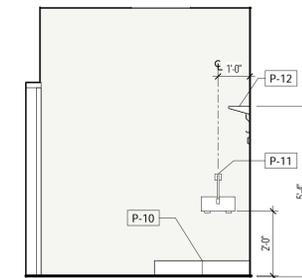
MEN'S LOCKER ROOM ELEVATION H

3/8" = 1'-0"



JANITOR'S CLOSET - ELEVATION J

3/8" = 1'-0"



JANITOR'S CLOSET ELEVATION K

3/8" = 1'-0"



To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.

REV	DESCRIPTION	DATE

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 Project: Garcia Stromberg
 Joe H. Garcia, P.E., N.CARB
 Chief Architect
 AR0015903
 2305 Vidal Parkway, Suite 16 | West Palm Beach, FL 33411 | TEL: 561-578-5865

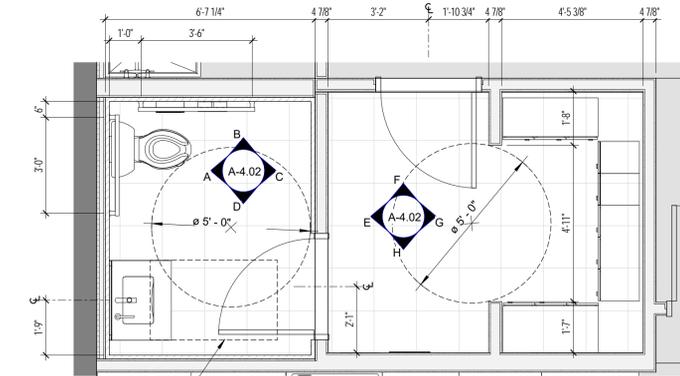
CLIENT
 FC FOUNDATION, INC.
 3470 CLUB CENTER BLVD
 NAPLES, FL 34114

PROJECT
 EMPLOYEE AREA &
 POOL RESTROOM
 RENOVATIONS

DRAWING NAME
 MEN'S LOCKER ROOM -
 ENLARGED
 PLAN AND
 ELEVATIONS

PROJECT NUMBER: 2023-07
 SHEET NUMBER:
A-4.01
 PRINT DATE:
 01/20/25 10:52:27 AM

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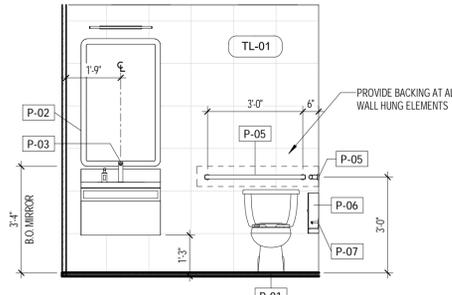
**WOMEN'S LOCKER ROOM
ENLARGED PLAN**

1
3/8" = 1'-0" A-4.02



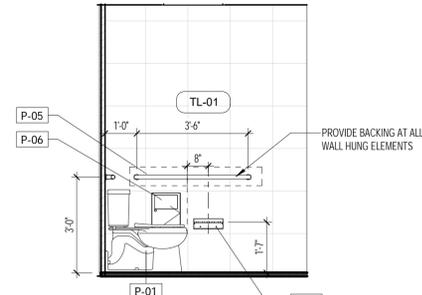
**WOMEN'S LOCKER ROOM
ENLARGED RCP**

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3/8" = 1'-0" A-4.02



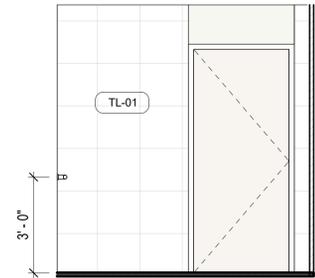
**WOMEN'S LOCKER ROOM
ELEVATION A**

A
3/8" = 1'-0" A-4.02



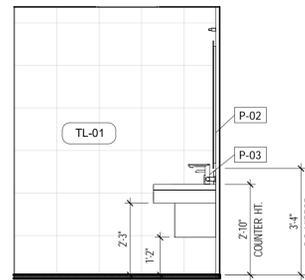
**WOMEN'S LOCKER ROOM
ELEVATION B**

B
3/8" = 1'-0" A-4.02



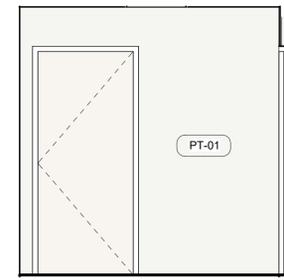
**WOMEN'S LOCKER ROOM
ELEVATION C**

C
3/8" = 1'-0" A-4.02



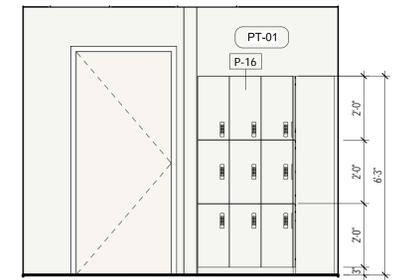
**WOMEN'S LOCKER ROOM
ELEVATION D**

D
3/8" = 1'-0" A-4.02



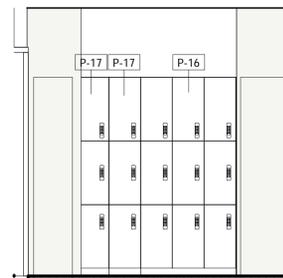
**WOMEN'S LOCKER ROOM
ELEVATION E**

E
3/8" = 1'-0" A-4.02



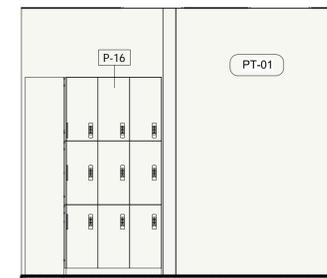
**WOMEN'S LOCKER ROOM
ELEVATION F**

F
3/8" = 1'-0" A-4.02



**WOMEN'S LOCKER ROOM
ELEVATION G**

G
3/8" = 1'-0" A-4.02



**WOMEN'S LOCKER ROOM
ELEVATION H**

H
3/8" = 1'-0" A-4.02



REV	DESCRIPTION	DATE

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garcia stromberg
 Joseph H. Garcia, P.E., NCBARB
 Chief Architect
 AR00079109
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CLIENT
FC FOUNDATION, INC.
 3470 CLUB CENTER BLVD
 NAPLES, FL 34114

PROJECT
**EMPLOYEE AREA &
POOL RESTROOM
RENOVATIONS**

DRAWING NAME
**WOMEN'S
LOCKER
ROOM -
ENLARGED
PLAN AND
ELEVATIONS**

PROJECT NUMBER: 2023-07

SHEET NUMBER:

A-4.02

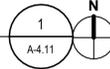
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**POOL RESTROOMS & LOCKERS -
REFLECTED CEILING PLAN**

3/8" = 1'-0"



CONSTRUCTION DOCUMENTS 2025.06.17

PROJECT NUMBER: 201542

SHEET NUMBER:

A-4.11

PRINT DATE:
7/23/2025 11:52:44 AM

DRAWING NAME

**POOL
RESTROOM &
LOCKER
REFLECTED
CEILING
PLANS**

PROJECT

**GATOR GRILLE
RENOVATION**

CLIENT

FC FOUNDATION, INC.
3470 CLUB CENTER
BOULEVARD,
NAPLES, FL 34114

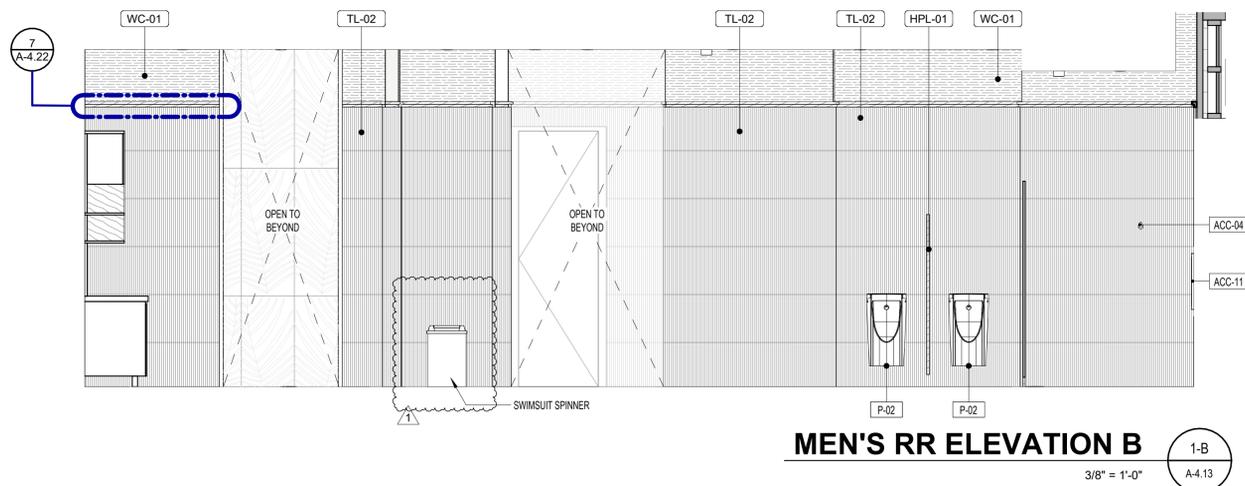
SCALE

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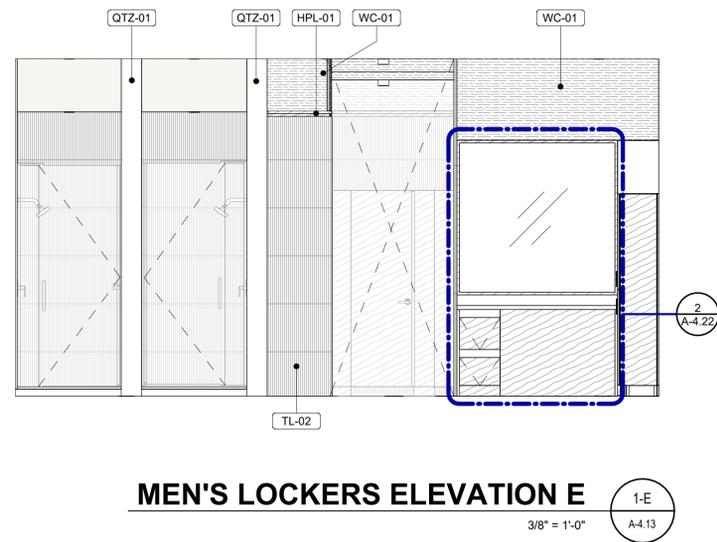
garciastromberg

Jorge H. Garcia, RA, NCARB
Chief Executive Officer
Peter T. Stromberg, RA, NCARB
Principal Architect
2385 Vista Parkway, Suite 10 | West Palm Beach, FL 33411 | TEL: 561.478.8885

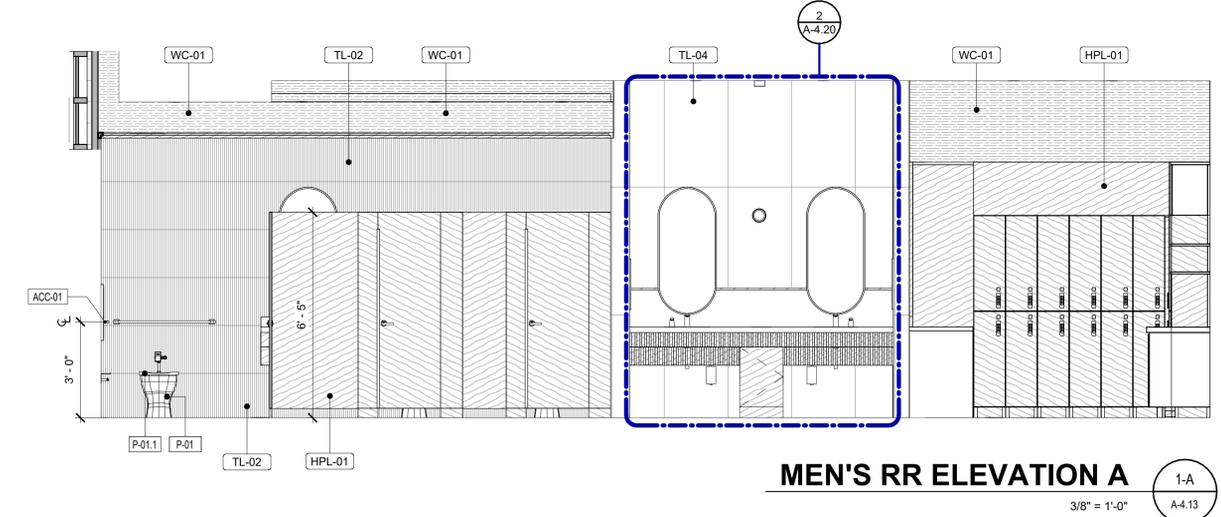
REV	DESCRIPTION	DATE
1	REVISION 1	07/23/2025



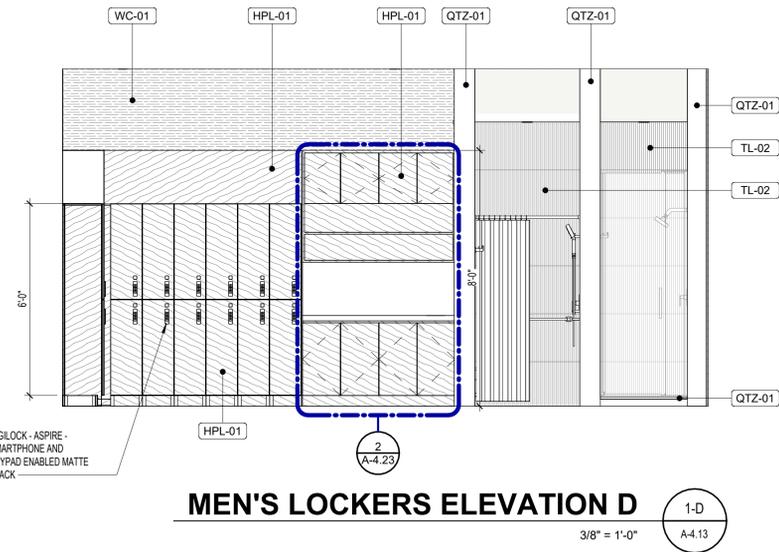
MEN'S RR ELEVATION B 1-B
3/8" = 1'-0" A-4.13



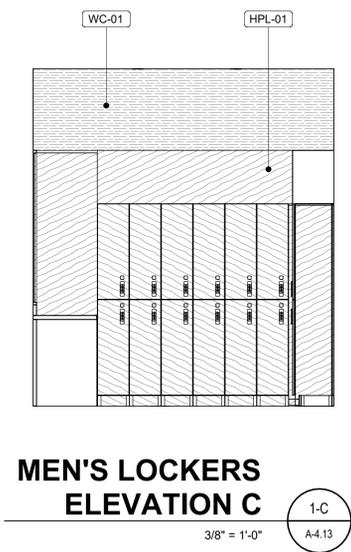
MEN'S LOCKERS ELEVATION E 1-E
3/8" = 1'-0" A-4.13



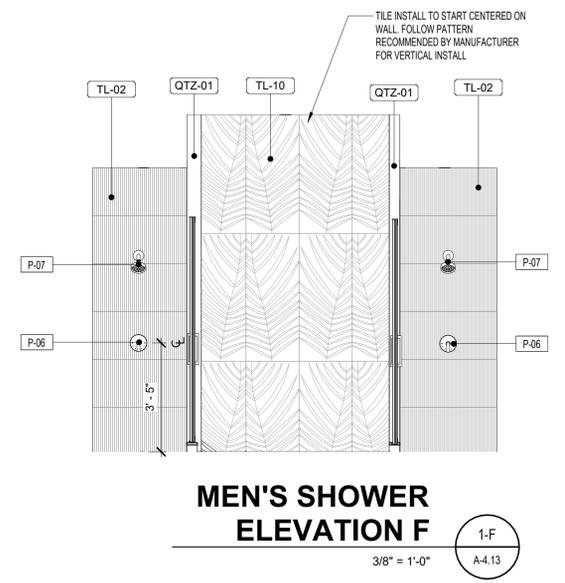
MEN'S RR ELEVATION A 1-A
3/8" = 1'-0" A-4.13



MEN'S LOCKERS ELEVATION D 1-D
3/8" = 1'-0" A-4.13



MEN'S LOCKERS ELEVATION C 1-C
3/8" = 1'-0" A-4.13



MEN'S SHOWER ELEVATION F 1-F
3/8" = 1'-0" A-4.13

CONSTRUCTION DOCUMENTS 2025.06.17

PROJECT NUMBER: 201542
SHEET NUMBER: **A-4.13**
PROJECT: **GATOR GRILLE RENOVATION**
DRAWING NAME: **MEN'S POOL RESTROOM & LOCKER ELEVATIONS**

CLIENT: **FC FOUNDATION, INC.**
3470 CLUB CENTER BOULEVARD, NAPLES, FL 34114

ARCHITECT: **garciastromberg**
Project: T. Stromberg, P.A., NCARB
Principal
Jose H. Garcia, P.A., NCARB
Chief Executive Officer
2385 Vista Parkway, Suite 10 | West Palm Beach, FL 33411 | TEL: 561.478.8885

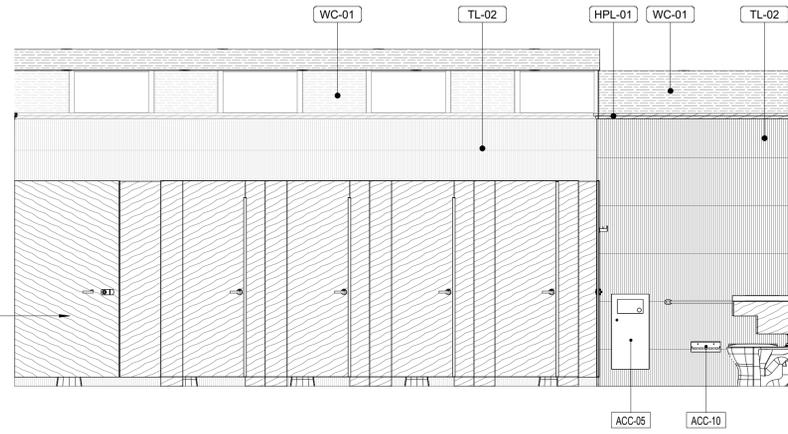
REV	DESCRIPTION	DATE
1	REVISION 1	07/23/2025

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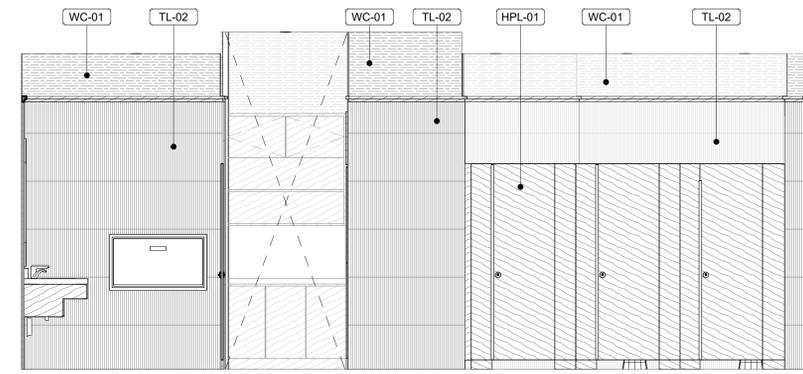
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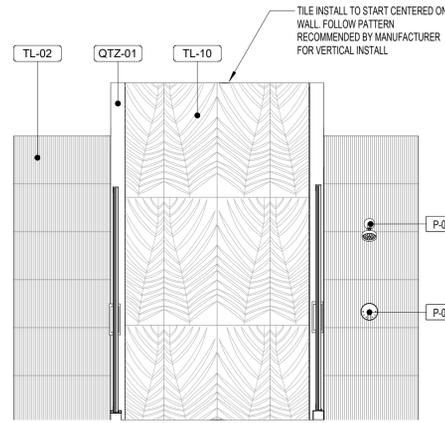
TOILET PARTITIONS SPECIFICATION
MANUFACTURER:
 IRONWOOD MANUFACTURING
 HPL-01 VERTICAL GRAIN, FLAT PANEL DOOR, 84" TALL
 ZERO SIGHTLINE, FLOOR MOUNTED NO HEADRAIL BRACKET, SHOES TO BE HPL-01 NOT STAINLESS STEEL, CONTINUOUS HARDWARE
CONTACT: JOE BOWERS
 380.565.6590 JOE.BOWERS@IRONWOOD-MFG.COM
DOOR HARDWARE:
 VIZLOCK - CSF1MLR - ADA DOOR LOCK WITH INDICATOR MATTE BLACK, LEFT HANDED OR RIGHT HANDED PENDING DOOR SWING



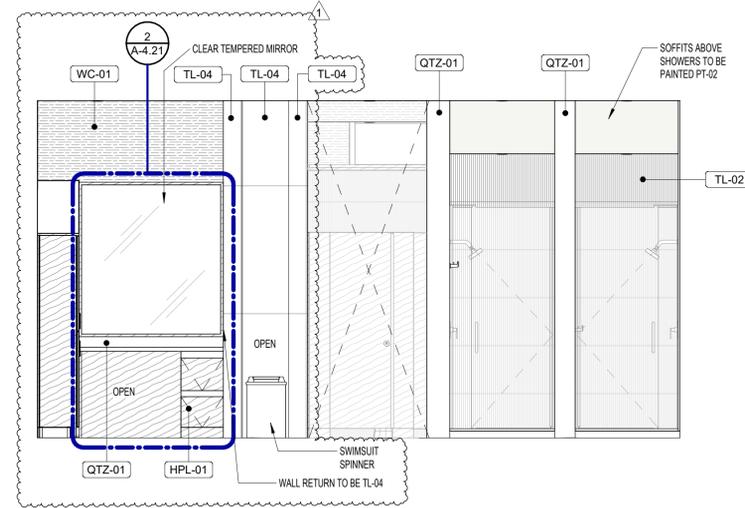
WOMEN'S RR ELEVATION H 1-H
 3/8" = 1'-0" A-4.14



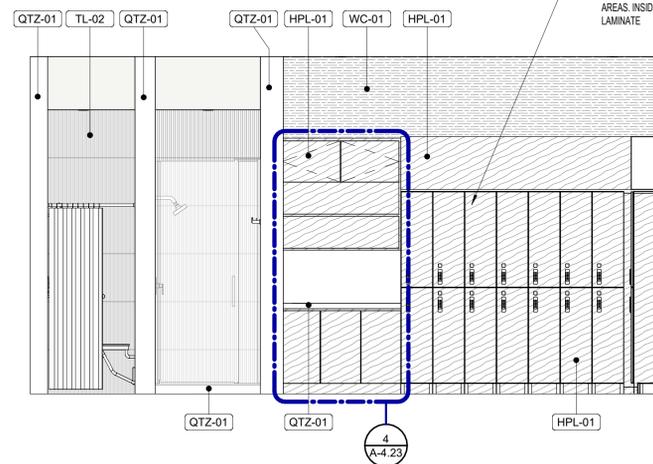
WOMEN'S RR ELEVATIONS G 1-G
 3/8" = 1'-0" A-4.14



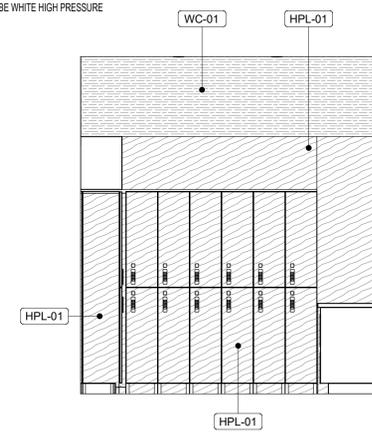
WOMEN'S SHOWER ELEVATION F 1-F
 3/8" = 1'-0" A-4.14



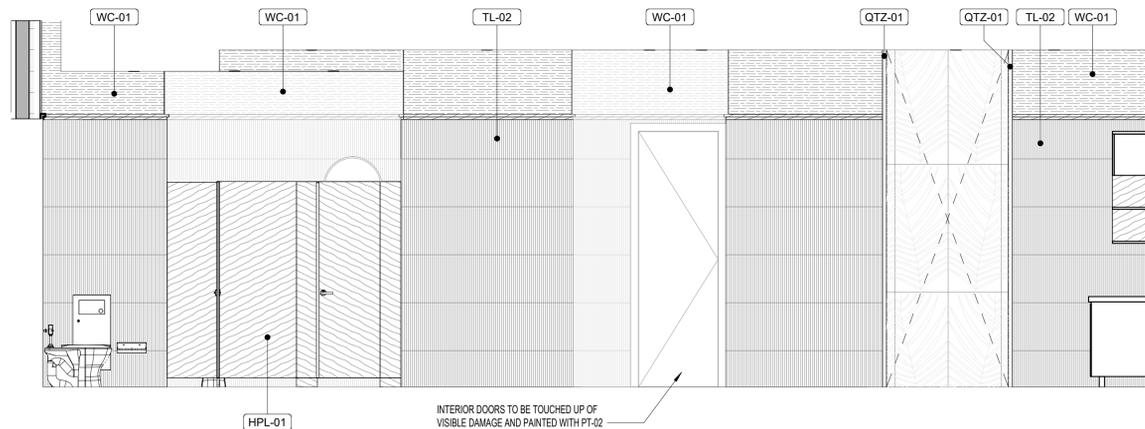
WOMEN'S LOCKER ELEVATION E 1-E
 3/8" = 1'-0" A-4.14



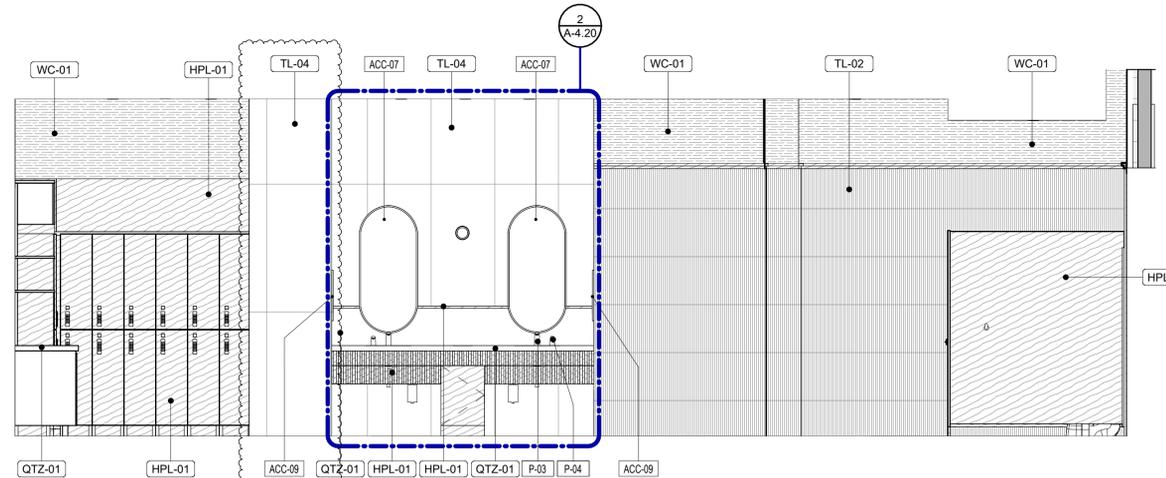
WOMEN'S LOCKER ELEVATION D 1-D
 3/8" = 1'-0" A-4.14



WOMEN'S LOCKER ELEVATION C 1-C
 3/8" = 1'-0" A-4.14



WOMEN'S RR AND LOCKER ELEVATION B 1-B
 3/8" = 1'-0" A-4.14



WOMEN'S RR AND LOCKER ELEVATION A 1-A
 3/8" = 1'-0" A-4.14

REV	DESCRIPTION	DATE
1	REVISION 1	07/23/2025

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 Peter T. Stronberg, P.A., NCARB
 Architect
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CLIENT
FC FOUNDATION, INC.
 3470 CLUB CENTER
 BOULEVARD,
 NAPLES, FL 34114

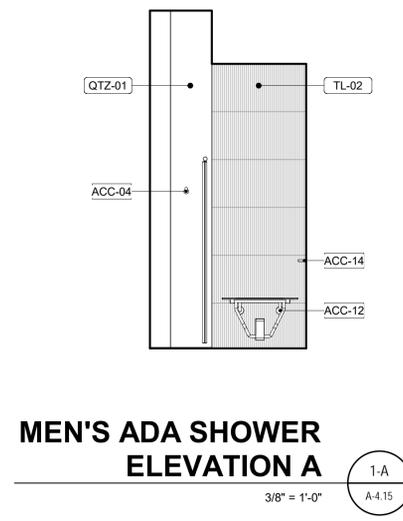
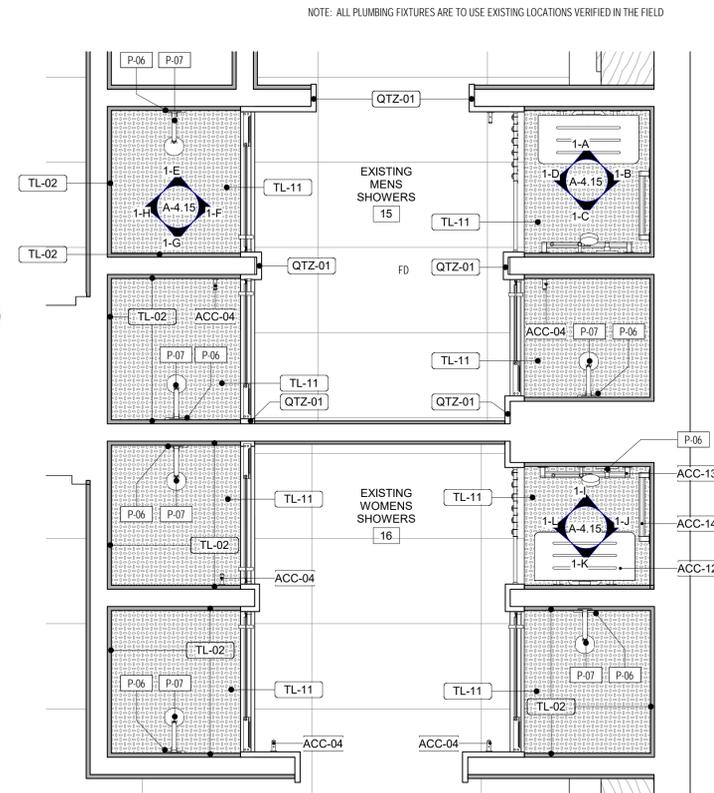
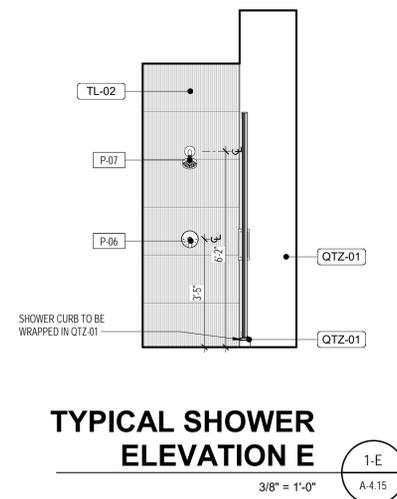
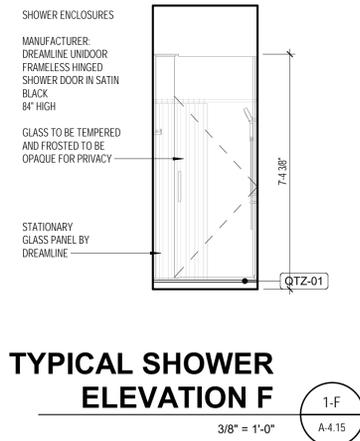
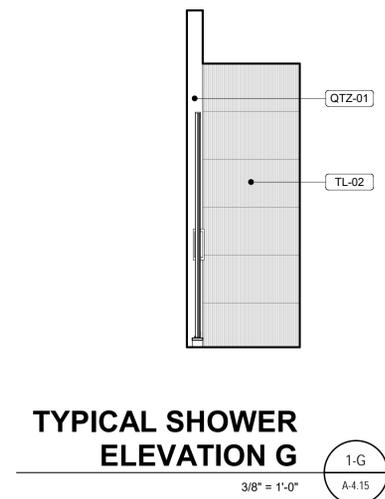
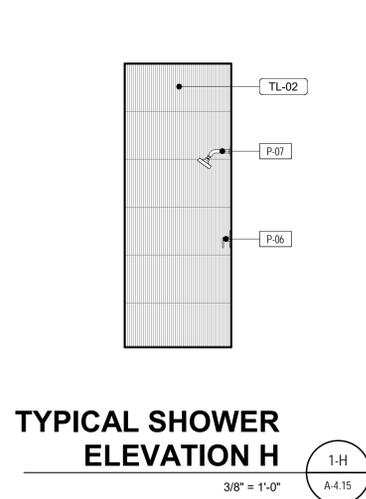
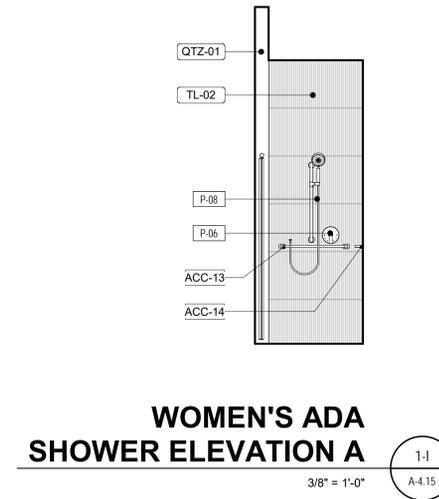
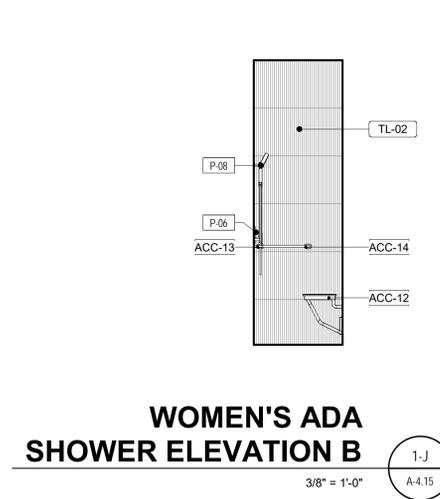
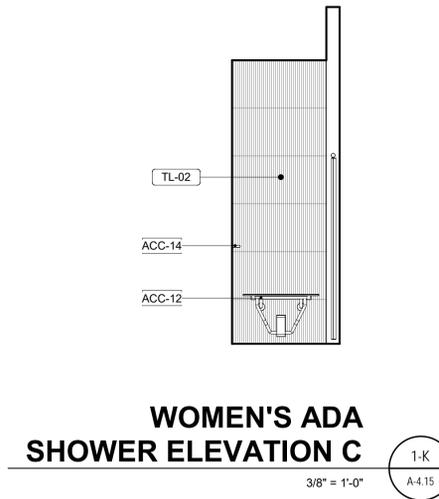
PROJECT
**GATOR GRILLE
 RENOVATION**

DRAWING NAME
**WOMEN'S
 POOL
 RESTROOM &
 LOCKER
 ELEVATIONS**

PROJECT NUMBER: 201542
 SHEET NUMBER:
A-4.14
 PRINT DATE: 7/23/2025 11:28:39 AM

CONSTRUCTION DOCUMENTS 2025.06.17

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REV	DESCRIPTION	DATE

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garcia stromberg

FC FOUNDATION, INC.
3470 CLUB CENTER BOULEVARD
NAPLES, FL 34114

CLIENT

PROJECT

POOL SHOWERS ENLARGED PLAN AND ELEVATIONS

CONSTRUCTION DOCUMENTS 2025.06.17

PROJECT NUMBER: 2023-02

SHEET NUMBER: A-4.15

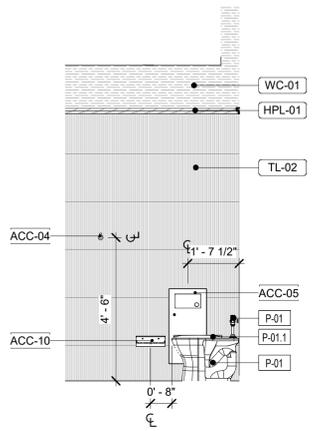
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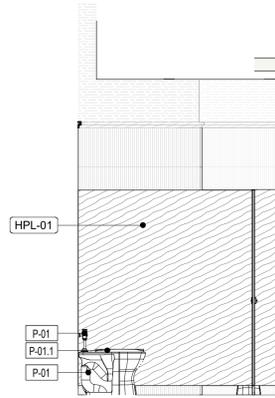
Joege H. Garcia, P.E., N.CARB
Chief Architect

Peter T. Stromberg, P.A., N.CARB
Architect

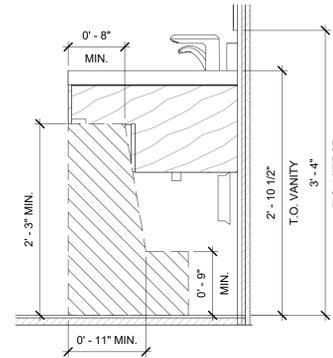
2385 Vidal Parkway, Suite 16 | West Palm Beach, FL 33411 | TEL: 561-578-5865



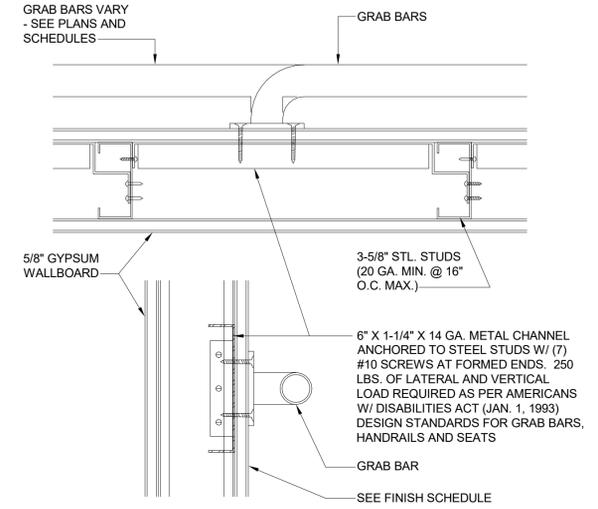
POOL RESTROOM TYPICAL RR STALL - ELEVATION K
 3/8" = 1'-0" 1-K
 A-4.16



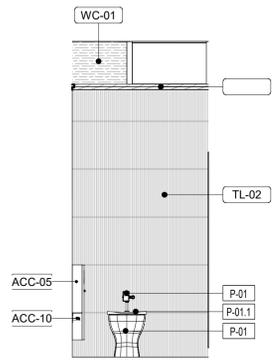
POOL RESTROOM TYPICAL RR STALL - ELEVATION J
 3/8" = 1'-0" 1-J
 A-4.16



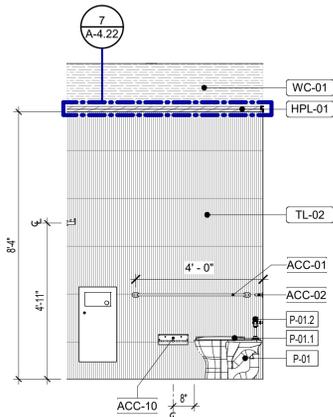
ENLARGED ADA VANITY/SINK DETAIL
 1" = 1'-0" 2
 A-4.16



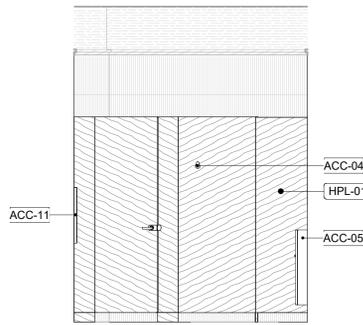
GRAB BAR REINFORCEMENT DETAIL
 1/4" = 1'-0" 1
 A-4.16



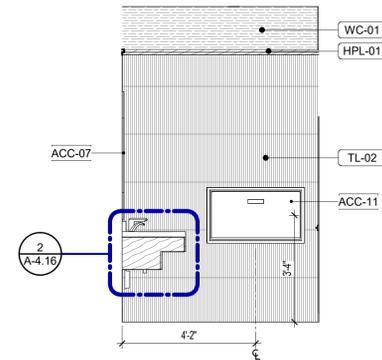
POOL RESTROOM TYPICAL RR STALL - ELEVATION I
 3/8" = 1'-0" 1-I
 A-4.16



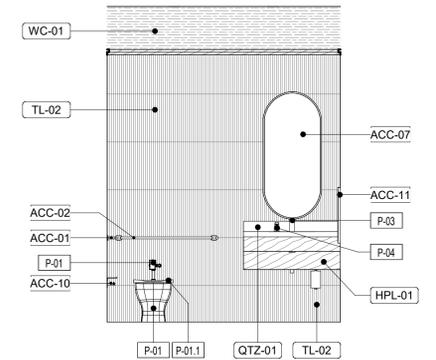
WOMEN'S ADA RR STALL ELEVATION H
 3/8" = 1'-0" 1-H
 A-4.16



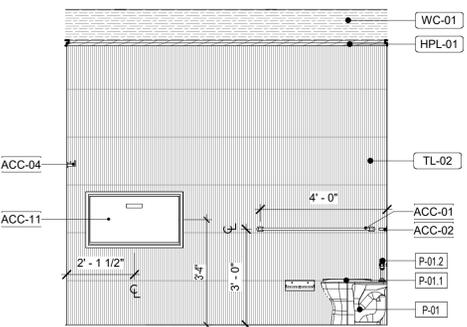
WOMEN'S ADA RR STALL ELEVATION G
 3/8" = 1'-0" 1-G
 A-4.16



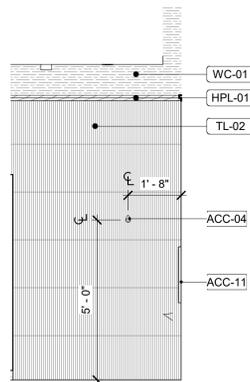
WOMEN'S ADA RR STALL ELEVATION F
 3/8" = 1'-0" 1-F
 A-4.16



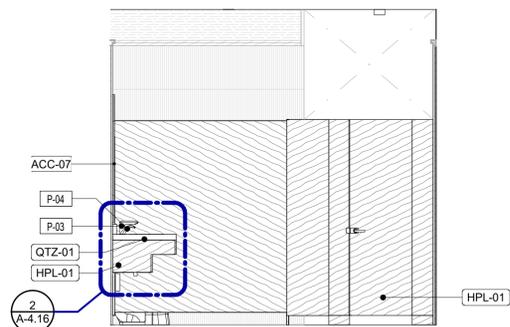
WOMEN'S ADA RR STALL ELEVATION E
 3/8" = 1'-0" 1-E
 A-4.16



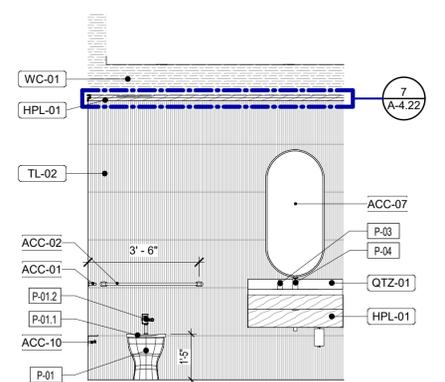
MEN'S TYPICAL ADA RESTROOM ELEVATION D
 3/8" = 1'-0" 1-D
 A-4.16



MEN'S TYPICAL ADA RESTROOM ELEVATION C
 3/8" = 1'-0" 1-C
 A-4.16



MEN'S TYPICAL ADA RESTROOM ELEVATION B
 3/8" = 1'-0" 1-B
 A-4.16



MEN'S TYPICAL ADA RESTROOM ELEVATION A
 3/8" = 1'-0" 1-A
 A-4.16

REV	DESCRIPTION	DATE

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FC FOUNDATION, INC.
 3470 CLUB CENTER BOULEVARD
 NAPLES, FL 34114

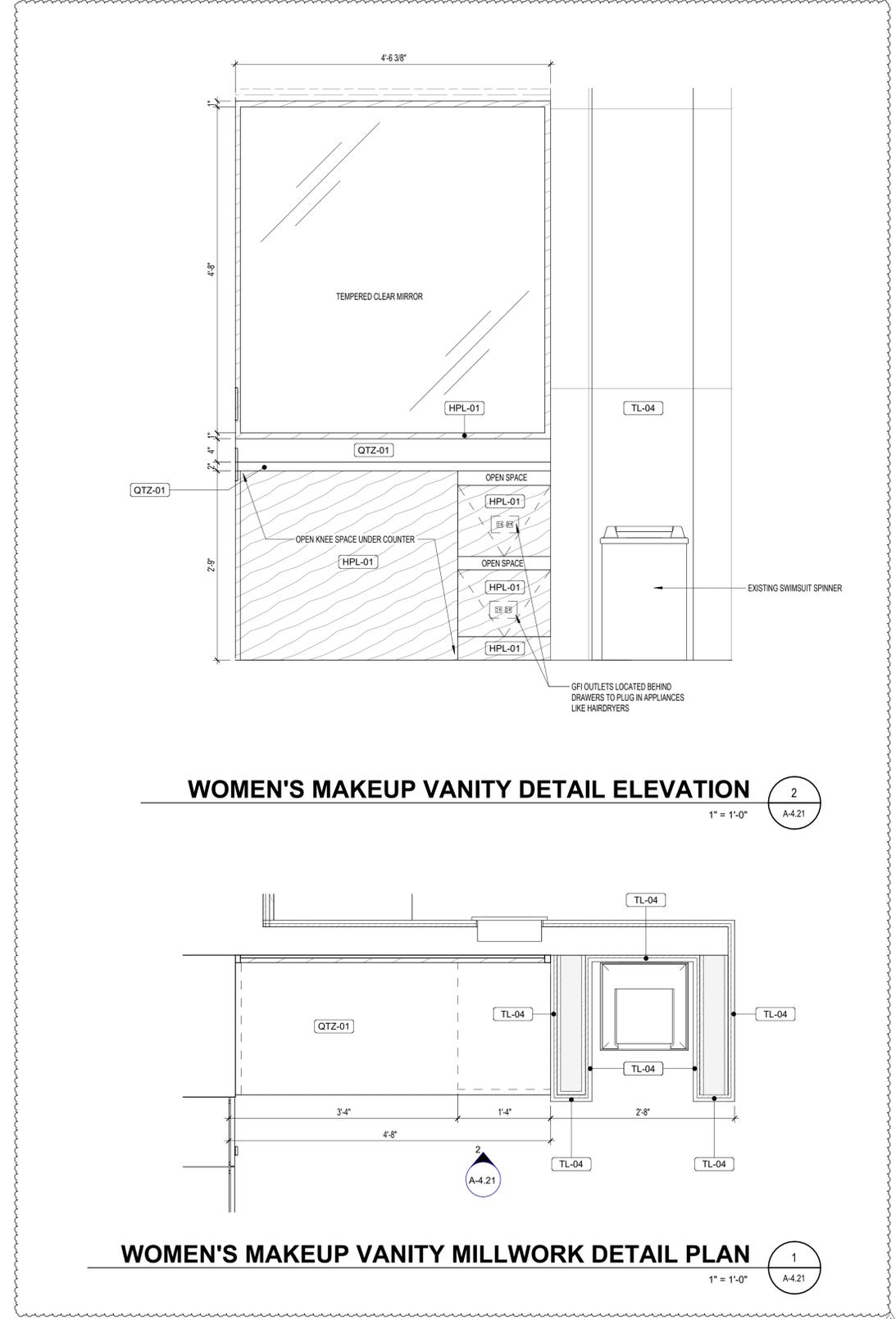
EMPLOYEE AREA & POOL RESTROOM RENOVATIONS

POOL ADA & TYPICAL RESTROOMS ELEVATIONS

CONSTRUCTION DOCUMENTS 2025.06.17

PROJECT NUMBER: 2303-02
 SHEET NUMBER: **A-4.16**
 PRINT DATE: 01/02/2025 2:44:07 PM

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.



CONSTRUCTION DOCUMENTS 2025.06.17

PROJECT NUMBER: 201542

SHEET NUMBER:

A-4.21

PRINT DATE:
7/23/2025 11:48:34 AM

DRAWING NAME

**MILLWORK
DETAILS**

PROJECT

**GATOR GRILLE
RENOVATION**

CLIENT

FC FOUNDATION, INC.
3470 CLUB CENTER
BOULEVARD,
NAPLES, FL 34114

SCALE

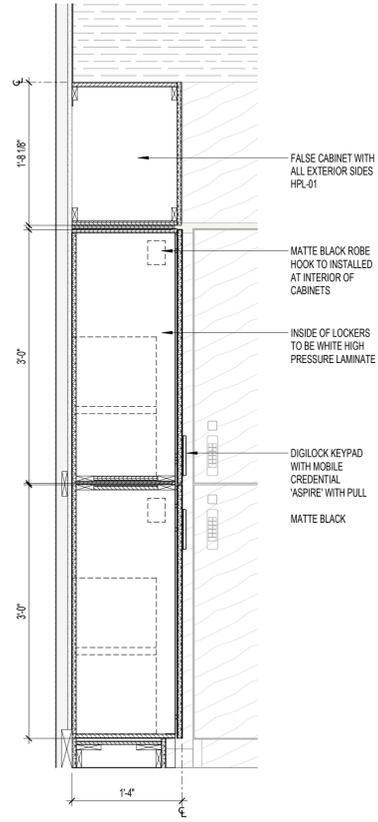
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garciastromberg

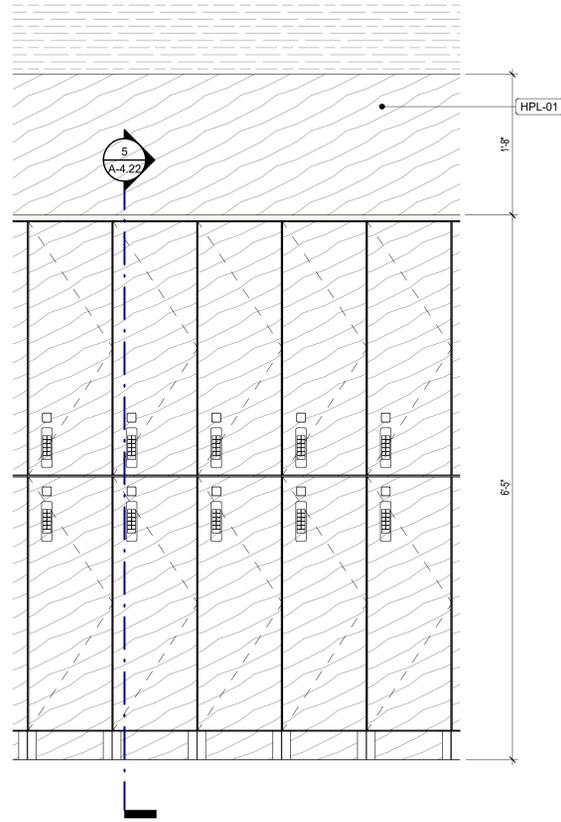
Joseph H. Garcia, FA, NCARB
Chief Executive Officer
Peter T. Stromberg, FA, NCARB
Principal Architect
2386 Vista Parkway, Suite 10 | West Palm Beach, FL 33411 | TEL: 561.478.8885

REV	DESCRIPTION	DATE
1	REVISION 1	07/23/2025

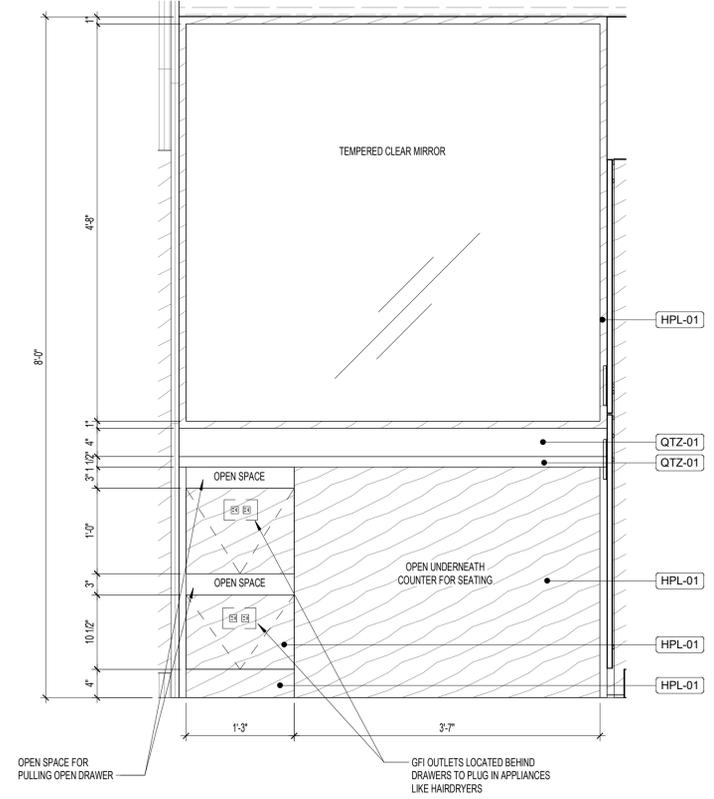
To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.



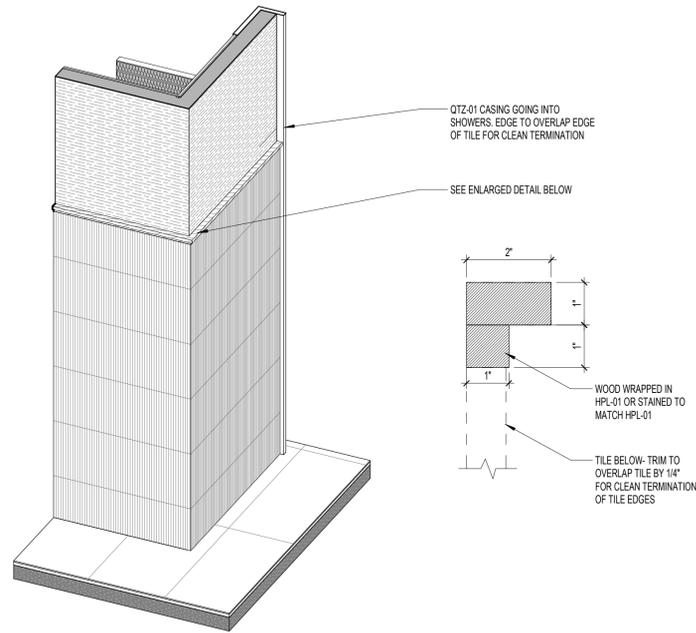
TYPICAL LOCKER SECTION 5
1" = 1'-0" A-4.22



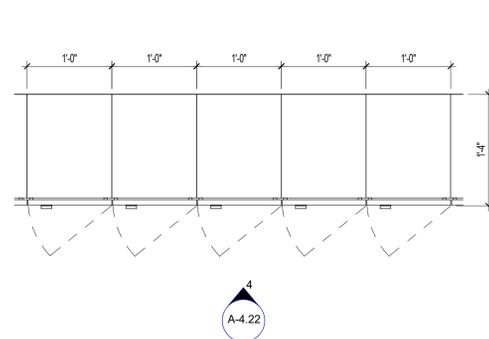
TYPICAL LOCKER MILLWORK DETAIL ELEVATION 4
1" = 1'-0" A-4.22



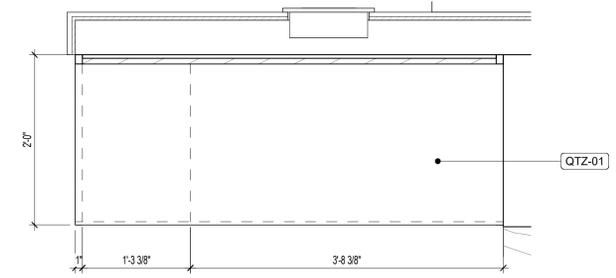
MEN'S MAKEUP VANITY DETAIL ELEVATION 2
1" = 1'-0" A-4.22



WALL TILE TRIM DETAIL 6
A-4.22



TYPICAL LOCKER MILLWORK DETAIL PLAN 3
1" = 1'-0" A-4.22



MEN'S MAKEUP VANITY MILLWORK DETAIL PLAN 1
1" = 1'-0" A-4.22

CONSTRUCTION DOCUMENTS 2025.06.17

PROJECT NUMBER: 2303-02

SHEET NUMBER:

A-4.22

PRINT DATE: 01/16/2025 2:28:10 PM

DRAWING NAME

MILLWORK DETAILS

PROJECT

EMPLOYEE AREA & POOL RESTROOM RENOVATIONS

CLIENT

FC FOUNDATION, INC.
3470 CLUB CENTER BOULEVARD
NAPLES, FL 34114

SCALE

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ARC015983
2305 Vada Parkway, Suite 106 | West Palm Beach, FL 33411 | TEL: 561-778-5866

REV	DESCRIPTION	DATE

DOOR HARDWARE

HW SET 1.0

DOOR: 01

ALL DOOR HARDWARE BY EUROTECH INDUSTRIES PER NOA 23-0622.02

HW SET 2.0

DOOR: 02, 05

3 HINGE	BB1279	US32D	HA
1 PRIVACY LOCK	ND40S RHO	US26D	SC
1 CLASSROOM DEADBOLT	B633	US26D	SC
1 DOOR CLOSER	7414	EN	DO
1 WALL STOP	406	US32D	RO
1 WEATHERSTRIP	120NA		NG
1 THRESHOLD	950NA		

HW SET 3.0

DOOR: 03, 04, 08

3 HINGE	BB1279	US32D	HA
1 STOREROOM LOCK	ND80BD RHO	US26D	SC
1 DOOR CLOSER	7414	EN	DO
1 WALL STOP	406	US32D	RO
1 WEATHERSTRIP	120NA		NG
1 THRESHOLD	950NA		

HW SET 4.0

DOOR: 06

3 HINGE	BB1279	US32D	HA
1 OFFICE LOCK	ND50PD RHO	US26D	SC
1 DOOR CLOSER	7414	EN	DO
1 WALL STOP	406	US32D	RO

HW SET 5.0

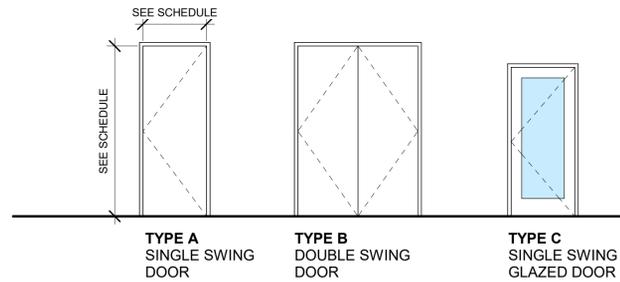
DOOR: 07

3 HINGE	BB1279	US32D	HA
1 STOREROOM LOCK	ND80BD RHO	US26D	SC
1 DOOR CLOSER	7414	EN	DO
1 WALL STOP	406	US32D	RO

DOOR HARDWARE
12" = 1'-0"

DOOR SCHEDULE - NEW DOORS											
MARK	ROOM ID	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	DOOR PANEL MATERIAL	FRAME TYPE	FINISH	FIRE RATING	HARDWARE GROUP SET	REMARKS / COMMENTS (ALL DIMENSIONS MUST BE VERIFIED IN FIELD)
101	ELEV. EQUIP. ROOM	3' - 0"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE	90		
201	EMPLOYEE LOUNGE	3' - 0"	7' - 0"	0' - 1 3/4"	C	GLASS	AL2				
202	WOMEN'S LOCKER ROOM	3' - 0"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE			
203	WOMEN'S RESTROOM	3' - 0"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE			
204	JANITOR CLOSET	3' - 0"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE			
205	MEN'S RESTROOM	3' - 0"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE			
206	MEN'S LOCKER ROOM	3' - 0"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE			
207	COMPUTER/IT	6' - 0"	7' - 0"	0' - 1 3/4"	B	HPL	HM1	LAMINATE			
210	STORAGE	6' - 0"	7' - 0"	0' - 1 3/4"	B	HPL	HM1	LAMINATE			
212	UNIFORM LINEN ROOM	6' - 0"	7' - 0"	0' - 1 3/4"	B	HPL	HM1	LAMINATE			
213	MECHANICAL ROOM	6' - 0"	7' - 0"	0' - 1 3/4"	B	HPL	HM1	LAMINATE			
214	WINE ROOM	6' - 0"	7' - 0"	0' - 1 3/4"	B	HPL	HM1	LAMINATE			
215	LIQUOR ROOM	6' - 0"	7' - 0"	0' - 1 3/4"	B	HPL	HM1	LAMINATE			
216	DRY STORAGE	6' - 0"	7' - 0"	0' - 1 3/4"	B	HPL	HM1	LAMINATE			
217	MECHANICAL ROOM	3' - 0"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE			
218	PLASTIC/PAPER ROOM	6' - 0"	7' - 0"	0' - 1 3/4"	B	HPL	HM1	LAMINATE			
219	VESTIBULE	2' - 10"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE			
222	ACCESS	2' - 10"	7' - 0"	0' - 1 3/4"	A	HPL	HM1	LAMINATE			

DOOR TYPES

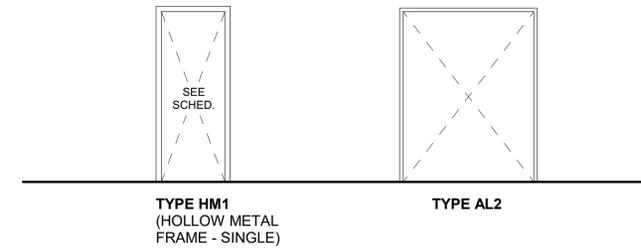


DOOR TYPES
1/4" = 1'-0"

- NOTES:
- REFER TO SCHEDULE FOR DIMENSIONS, HARDWARE AND FINISHES.
 - ALL INTERIOR DOORS RETURN TO BE 4" UNLESS OTHERWISE NOTED. COORDINATE WITH WOOD TRIM PER ID DRAWINGS.
 - REFER TO ID FOR THRESHOLD / FLOOR TRANSITION DETAILS.
 - ALL THRESHOLDS AT DOORS TO OR MATERIAL TRANSITIONS TO HAVE MAXIMUM 1/2" CHANGE OF LEVEL OR LESS.

- NOTES:
- ALL DIMENSIONS ARE NOMINAL (CONCRETE OR ROUGH OPENING) DIMENSIONS, PROVIDE ENGINEERED SHOP DRAWINGS & METRO DADE PRODUCT APPROVAL NOTICES FOR ALL WINDOWS, EXTERIOR DOORS, & STOREFRONT SYSTEMS.
 - ALL EXTERIOR GLAZING UNITS SHALL BE IMPACT RESISTANT WITH MIAMI-DADE COUNTY OR FLORIDA PRODUCT APPROVAL. (SHADING COEFFICIENT OF GLAZING SHALL COMPLY WITH FLORIDA ENERGY CALCULATIONS.)
 - ALL DOORS & WINDOWS SHALL MEET WIND LOAD CRITERIA DESCRIBED IN STRUCTURAL DRAWINGS.
 - SEE PLANS FOR STOREFRONT WIDTHS. FIELD VERIFY ALL CMU/CONCRETE OPENINGS PRIOR TO FABRICATION

FRAME TYPES



FRAME TYPES
1/4" = 1'-0"

- ALL EXTERIOR DOORS AND WINDOWS SHALL BE INSTALLED PER MIAMI-DADE COUNTY NOTICE OF ACCEPTANCE
- ALL INTERIOR WINDOWS GLAZING SHALL BE 1/4" TEMPERED GLASS UNLESS OTHERWISE NOTED
- ALL OPERABLE WINDOWS TO HAVE LIMITERS AND SCREENS
- FRAME FINISH TO BE: WHITE ESP (BASE BID) OR 2 COAT KYNAR (ALTERNATE)
- SURFACE APPLIED MUNTINS (IF AND WHERE INDICATED) TO MATCH FRAME FINISH

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.

REV	DESCRIPTION	DATE

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 AR0015903
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 2385 Veda Parkway, Suite #6 | West Palm Beach, FL 33411 | TEL: 561-478-5866

CLIENT
FC FOUNDATION, INC.
 3470 CLUB CENTER BLVD
 NAPLES, FL 34114

PROJECT
EMPLOYEE AREA & POOL RESTROOM RENOVATIONS

DRAWING NAME
DOOR SCHEDULE

PROJECT NUMBER: 2303.07
 SHEET NUMBER:
A-6.00
 PRINT DATE:
 01/26/2025 12:46:19 PM

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.

ID - FINISH SCHEDULE POOL RR PERMIT							
ITEM TAG	ITEM DESCRIPTION	MANUFACTURER	COLOR / FINISH	MODEL	CONTACT	LOCATION	NOTES
HPL-01	LAMINATE	LAB DESIGNS	<varies>	FRUITWOOD WA306 LS	<varies>	<varies>	
PT-02	PAINT	SHERWIN WILLIAMS PURE WHITE SW 7005					09 24 24
QTZ-01	QUARTZ SLAB	CAMBRIA	<varies>	FOGGY CITY	MELISSA DUARTE 754.259.2613 MELISSA.DUARTE@CAMBRIAUSA.COM	PUBLIC: COUNTERTOPS	
TL-01	PORCELAIN TILE	NASCO	DORADO - BEIGE R11	24 X 48	JOE NACCI 917.589.9899 JOE@NASCOSTONETILE.COM	PUBLIC: RESTROOM FLOORS	3/16" GROUT JOINT - GROUT: TEC 909 STERLING
TL-02	GLOSSY CERAMIC TILE	TILEBAR	KANBINA CHAMELEON	5" X 18" SHEET	CAROLINA COELHO 516.526.4482 CAROLINA@TILEBAR.COM	PUBLIC: RESTROOM WALLS	GROUT: TEC 909 STERLING
TL-04	PORCELAIN TILE	OPUSTONE	STATICA SALVIA STRIDE UP	24 X 48	KERWIN CARILLO 561.319.0334 KCARILLO@OPUSTONE.COM	PUBLIC: RESTROOM VANITY ACCENT WALLS	3/16" GROUT JOINT - GROUT: TEC 933 STANDARD GRAY
TL-10	PORCELAIN TILE	ATLAS CONCORDE	MATTE - BOOST EXPRESSION	LIFE OLIVE 20 X 48	PETE VALDES 305.218.7312 PETEVALDES@HOTMAIL.COM	PUBLIC: RESTROOM SHOWER ACCENT WALL	3/16" GROUT JOINT - GROUT: TEC 933 STANDARD GRAY
TL-11	PORCELAIN TILE	DALTILE	KEYSTONES ALMOND D335 MATTE	MOSAIC SHEETS	ANN NATHANSON 561.866.5234 ANN.NATHANSON@DAL TILE.COM	PUBLIC: RESTROOM SHOWER FLOORS	GROUT: TEC 909 STERLING
WC-01	VINYL WALLCOVERING	KOROSEAL	TYPE II - 20 OZ 54" WIDTH	SILKX RAW	LINDSAY BRUGGER 954.789.5551 LBRUGGER@KOROSEAL.COM	PUBLIC: RESTROOM WALLS	

ID - PLUMBING FIXTURE SCHEDULE POOL RR PERMIT							
ITEM TAG	ITEM DESCRIPTION	MANUFACTURER	MODEL #	COLOR / FINISH	LOCATION	NOTES	
P-01	FLOOR MOUNTED TOILET	TOTO LTD.	CT725CUF(G)			TOILET	
P-01.1	Commercial Seat	TOTO USA, Inc.	SC534	<varies>	<varies>	OPEN FRONT TOILET SEAT	
P-01.2	SENSOR FLUSH VALVE	<varies>	TET1UB	<varies>	<varies>	FLUSHOMETER	
P-02	WALL HUNG URINAL	TOTO LTD.	UE906UVG				
P-03	TOUCHLESS FAUCET	KOHLER CO.	K-103K36-SATA-CP	POLISHED CHROME	PUBLIC: RR SOAP AND FAUCET COMBO		
P-04	TOUCHLESS SOAP	KOHLER CO.	K-181029-BK1-CP	POLISHED CHROME	PUBLIC: RR SOAP AND FAUCET COMBO		
P-05	UNDERMOUNT SINK	KOHLER Co.	K-2330-G	WHITE	PUBLIC: RESTROOM VANITIES		
P-06	SHOWER VALVE TRIM	KOHLER Co.	K-T73133-4-CP	POLISHED CHROME	PUBLIC: SHOWER STALLS		
P-07	Shower arm and flange	KOHLER Co.	K-933-CP	POLISHED CHROME	PUBLIC: SHOWER STALLS	SHOWERHEAD: K-939-G-CP ARM: K-933-CP	
P-08	SHOWERHEAD ON SLIDING BAR	KOHLER Co.	K-22178-G-CP	POLISHED CHROME	PUBLIC: ADA SHOWER STALLS		

PLUMBING ACCESSORY SCHEDULE POOL RR PERMIT							
ITEM TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	FINISH	LOCATION	CONTACT	NOTES
ACC-01	42 INCH GRAB BAR	KOHLER	K-33459	POLISHED CHROME	PUBLIC: ADA RR STALL		
ACC-02	36 INCH GRAB BAR	KOHLER	K-24551	POLISHED CHROME	PUBLIC: ADA RR STALL		
ACC-03	DOUBLE ROLL TOILET PAPER HOLDER	KOHLER Co.	K-27289-CP	POLISHED CHROME	PUBLIC: ADA RR STALL		
ACC-04	ROBE/PURSE HOOK	KOHLER Co.	K-97897-CP	POLISHED CHROME	PUBLIC: ADA RR STALL		
ACC-05	SANITARY NAPKIN DISPOSAL	BOBRICK	B-35639	<varies>	<varies>		
ACC-07	MIRROR	REJUVENATION	8603200	OIL RUBBED BRONZE	PUBLIC: RR		
ACC-08	SEMIRECESSED PAPER TOWEL AND WASTE DISPENSER	BOBRICK INC.	B-3942	SATIN STAINLESS STEEL	PUBLIC: RR		
ACC-09	RECESSED PAPER TOWEL DISPENSER	BOBRICK	B-35903				
ACC-10	SURFACE MOUNTED TOILET TISSUE DISPENSER	BOBRICK	B-540				
ACC-11	BABY CHANGING STATION	Bradley Corporation	962			Baby Changing Station	
ACC-12	SHOWER SEAT	Bradley Corporation	9562			Mounting Height 20	
ACC-13	24 Inch Grab Bar	Kohler Co.	K-33458-2MB				
ACC-14	Grab Bar 18 Inch	Kohler Co.	K-33457-2MB				

REV	DESCRIPTION	DATE

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Chief Architect
AR010503

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CLIENT

FC FOUNDATION, INC.

3470 CLUB CENTER BOULEVARD
NAPLES, FL 34114

PROJECT

EMPLOYEE AREA & POOL RESTROOM RENOVATIONS

DRAWING NAME

FINISH AND PLUMBING SCHEDULES

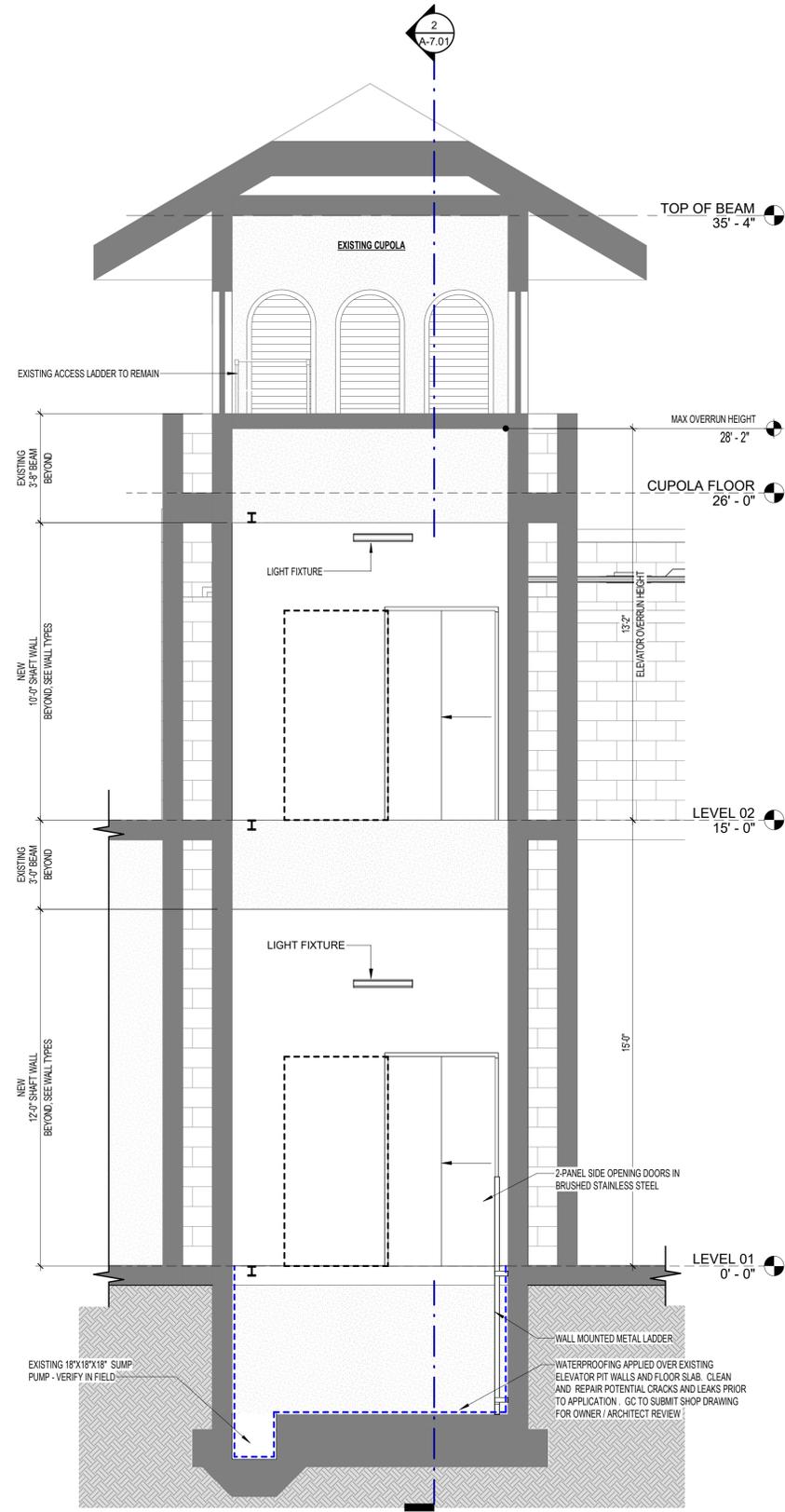
CONSTRUCTION DOCUMENTS 2025.06.17

SHEET NUMBER: 2023-02

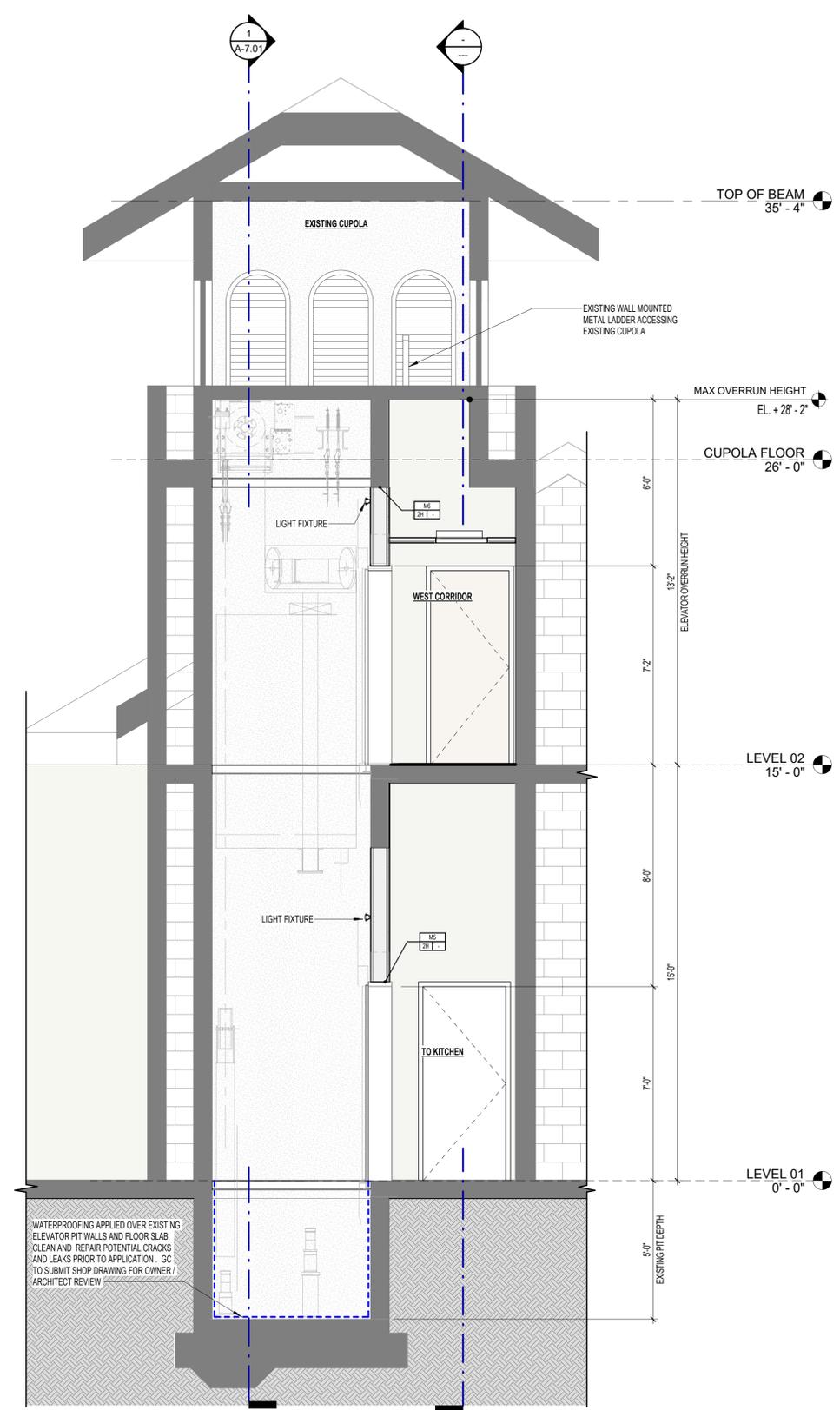
A-6.10

PRINT DATE: 01/02/2025 11:01:04 AM

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ELEVATOR LONGITUDINAL SECTION 1
3/8" = 1'-0" A-7.01



ELEVATOR CROSS SECTION 2
3/8" = 1'-0" A-7.01

REV	DESCRIPTION	DATE

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FC FOUNDATION, INC.
 3470 CLUB CENTER BLVD
 NAPLES, FL 34114

EMPLOYEE AREA & POOL RESTROOM RENOVATIONS

ELEVATOR SECTIONS

A-7.01

PROJECT NUMBER: 2023.07

SHEET NUMBER:

PRINT DATE: 01/26/2025 12:46:19 PM

FIDDLER'S CREEK

EMPLOYEE AREA AND POOL RESTROOMS

DRAWING INDEX

GENERAL

SHEET #	SHEET NAME	CURRENT REVISION	REV#	ISSUE DATE	REVISION DATE
CV	COVER SHEET & INDEX			06/17/25	
A-0.01	DRAWING INDEX & PROJECT DATA			06/17/25	
A-0.02	GENERAL NOTES			06/17/25	
A-0.03	GENERAL NOTES - ADA REQUIREMENTS			06/17/25	
A-0.04	GENERAL NOTES - ADA REQUIREMENTS			06/17/25	
A-0.06	PARTITION TYPES			06/17/25	

DEMOLITION

SHEET #	SHEET NAME	CURRENT REVISION	REV#	ISSUE DATE	REVISION DATE
D-0.01	GENERAL DEMOLITION AND ALTERATION NOTES			06/17/25	
D-1.01	DEMOLITION - SECOND FLOOR PLAN			06/17/25	
D-1.02	DEMOLITION - REFLECTED CEILING PLAN			06/17/25	
D-1.11	POOL RR & LOCKERS - DEMO PLAN			06/17/25	
D-1.12	POOL RR & LOCKERS - DEMO REFLECTED CEILING PLAN			06/17/25	

LIFE SAFETY

SHEET #	SHEET NAME	CURRENT REVISION	REV#	ISSUE DATE	REVISION DATE
LS-1.01	LIFE SAFETY - LEVEL 2			06/17/25	

ARCHITECTURAL

SHEET #	SHEET NAME	CURRENT REVISION	REV#	ISSUE DATE	REVISION DATE
A-1.00	OVERALL SITE PLAN			06/17/25	
A-1.01	EMPLOYEE AREA - CONTROL PLAN			06/17/25	
A-1.02	EMPLOYEE SERVICE AREA - DIMENSION PLAN			06/17/25	
A-1.03	EMPLOYEE SERVICE AREA - REFLECTED CEILING PLAN			06/17/25	
A-1.07	ROOF PLAN			06/17/25	
A-4.01	MEN'S LOCKER ROOM - ENLARGED PLAN AND ELEVATIONS			06/17/25	
A-4.02	WOMEN'S LOCKER ROOM - ENLARGED PLAN AND ELEVATIONS			06/17/25	
A-4.03	EMPLOYEE LOUNGE PLAN AND ELEVATION			06/17/25	
A-4.10	POOL RESTROOM & LOCKERS CONTROL PLAN			06/17/25	
A-4.11	POOL RESTROOM & LOCKERS REFLECTED CEILING PLANS			06/17/25	
A-4.12	POOL RESTROOM & LOCKERS FINISH PLAN			06/17/25	
A-4.13	MEN'S POOL RESTROOM & LOCKER ELEVATIONS			06/17/25	
A-4.14	WOMEN'S POOL RESTROOM & LOCKERS - ELEVATIONS			06/17/25	
A-4.15	POOL SHOWERS ENLARGED PLAN AND ELEVATIONS			06/17/25	
A-4.16	POOL ADA & TYPICAL RESTROOMS ELEVATIONS			06/17/25	
A-4.20	MILLWORK DETAILS			06/17/25	
A-4.21	MILLWORK DETAILS			06/17/25	
A-4.22	MILLWORK DETAILS			06/17/25	
A-4.23	MILLWORK DETAILS			06/17/25	
A-6.00	DOOR SCHEDULE			06/17/25	
A-6.10	FINISH AND PLUMBING SCHEDULES			06/17/25	
A-7.00	ELEVATOR PLAN			06/17/25	
A-7.01	ELEVATOR SECTIONS			06/11/25	
A-8.00	FINISH PLAN			06/17/25	

MECHANICAL

SHEET #	SHEET NAME	CURRENT REVISION	REV#	ISSUE DATE	REVISION DATE
M-0.00	MECHANICAL NOTES & SCHEDULES			06/17/25	
M-1.00	SECOND FLOOR - MECHANICAL PLAN			06/17/25	
M-1.01	FIRST FLOOR MACHINE ROOM - MECHANICAL PLAN			06/17/25	
M-2.00	MECHANICAL DETAILS			06/17/25	

ELECTRICAL

SHEET #	SHEET NAME	CURRENT REVISION	REV#	ISSUE DATE	REVISION DATE
E-0.00	ELECTRICAL NOTES & LEGEND			06/17/25	
E-1.00	SECOND FLOOR - ELECTRICAL POWER PLAN			06/17/25	
E-1.01	1ST FLOOR - MACHINE ROOM ELECTRICAL PLAN			06/17/25	
E-2.00	SECOND FLOOR - ELECTRICAL LIGHTING PLAN			06/17/25	
E-3.00	POOL RESTROOMS ELECTRICAL PLAN			06/17/25	
E-4.00	ELECTRICAL PANELS SCHEDULE			06/17/25	

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REV	DESCRIPTION	DATE

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EMPLOYEE AREA & POOL RESTROOM RENOVATIONS

COVER SHEET & INDEX

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